



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O’Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

Chester County Planning Commission
Government Services Center – Suite 270

Hybrid Meeting
October 11, 2023

AGENDA

- 2:00 p.m. 1. CALL TO ORDER
A. Chair’s Welcome *Chair*
2. PUBLIC COMMENT *Chair*
3. PRESENTATION
B. Draft Watersheds Plan *Seung Ah Byun and Kate Hutelmyer
Water Resources Authority*
- 2:25 p.m. 4. ACTION ITEMS
- C. Approval of Commission Meeting Minutes –September 13, 2023 *Commission*
- D. Act 247 Reviews – September 2023 Applications *Act 247 Team*
- 1) Subdivision and Land Development Plan Reviews (13)
- | | |
|----------------------------|----------------|
| 1. East Nantmeal Township | SD-07-23-17750 |
| 2. East Whiteland Township | LD-08-23-17786 |
| 3. Franklin Township | SD-08-23-17814 |
| 4. Kennett Township | LD-08-23-17785 |
| 5. North Coventry Township | SD-08-23-17821 |
| 6. Phoenixville Borough | LD-08-23-17815 |
| 7. West Bradford Township | LD-08-23-17811 |
| 8. West Caln Township | SD-08-23-17804 |
| 9. West Caln Township | SD-08-23-17805 |
| 10. West Chester Borough | LD-08-23-17810 |
| 11. West Chester Borough | SD-08-23-17809 |
| 12. West Goshen Township | LD-08-23-17826 |
| 13. West Sadsbury Township | SD-08-23-17829 |
- 2) Comprehensive Plan, Zoning and Subdivision Ordinance
Amendment, Miscellaneous Reviews (5)
- | | |
|-----------------------------|----------------|
| 1. Phoenixville Borough | SA-09-23-17832 |
| 2. Pocopson Township | ZA-09-23-17843 |
| 3. West Brandywine Township | ZA-08-23-17790 |
| 4. West Whiteland Township | ZA-08-23-17794 |
| 5. West Whiteland Township | ZM-08-23-17795 |
- E. Act 537 Reviews – September 2023 Applications *Carrie Conwell*
- 1) Major Applications (2)
1. Shadyside Mobile Home Park Special Study, East Nottingham Township, Consistent
 2. Valley Avenue Special Study, Oxford Borough, Consistent

- 2) Minor Applications (4)
 - 1. East Coventry Township, 527 Bethel Church Road, 18-5-175, Consistent
 - 2. Honey Brook Township, Twin County Business Park, 22-3-80, Consistent
 - 3. Kennett Township, Kennett Area Community Service, 62-3-74, Consistent
 - 4. Lower Oxford Township, John Fisher, 56-8-38.5A, Consistent

F. Agricultural Security Area

Glenn Bentley

- 1) Seven-year review (1)
 - 1. Honey Brook Township
- 2) ASA additions (6)
 - 1. Honey Brook Township, UPI 22-4-93
 - 2. Honey Brook Township, UPI 22-5-7.1
 - 3. Honey Brook Township, UPI 22-10-59
 - 4. West Caln Township, UPI 28-6-72.1
 - 5. West Caln Township, UPI 28-5-58.5
 - 6. West Caln Township, UPI 28-6-72

G. Community Planning Month Proclamation

Commission

2:35 p.m. 5. DISCUSSION AND INFORMATION ITEMS

H. Agricultural Development Council Update

Ann Lane

I. Sustainability Division Update

Rachael Griffith

J. Multimodal Transportation Planning Division Update

Brian Styche

K. Design & Technology Division Update

Paul Fritz

L. Community Planning Division Update

William Deguffroy

- 1) Implementable Comprehensive Plans

Chris Patriarca

M. Director's Report

Brian O'Leary

- 1) Draft 2024 Work Program

4:00 p.m. 6. ADJOURNMENT

Action Items



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MINUTES: Regular Monthly Meeting
Chester County Planning Commission

Hybrid – GSC Suite 351E
September 13, 2023

MEMBERS PRESENT IN PERSON: Michael Heaberg, Chair; Nate Cline, Vice Chair; Matt Hammond.

MEMBERS PRESENT VIA ZOOM: Roberta Cosentino; Stephanie Duncan; Doug Fasick; Molly Morrison; Angie Thompson-Lobb; Andrew Wright.

STAFF PRESENT IN PERSON: Brian O'Leary, Executive Director; Carol Stauffer, Assistant Director; Glenn Bentley; Carrie Conwell; Beth Cunliffe; William Deguffroy; Paul Fritz; Mark Gallant; Rachael Griffith; Gene Huller; Ann Lane; Kevin Myers; Nick Ogborn; Patty Quinn; Nancy Shields; Brian Styche.

STAFF PRESENT VIA ZOOM: Steven Buck; Paul Farkas; Jake Michael; Chris Patriarca; Elle Steinman; Diana Zak.

VISITORS PRESENT IN PERSON: Pauline Garcia-Allen, Oxford Borough Manager.

VISITORS PRESENT VIA ZOOM: James Griffin.

CALL TO ORDER:

The regular monthly meeting of the Chester County Planning Commission held in person at the Government Services Center Suite 351E and via Zoom audio/video on Wednesday, September 13, 2023 was called to order at 2:00 P.M. by Chair Michael Heaberg.

PUBLIC COMMENT: There were no public comments.

PRESENTATION:

Mr. Gallant introduced Pauline Garcia-Allen, Oxford Borough's Manager. Ms. Garcia-Allen noted that the borough is where it is today because of strategic investments over the last couple of decades including: strategic infrastructure and public safety investments; main street place making initiatives; downtown revitalization plan and parking studies; and construction of the multimodal parking garage and borough hall. Next, Ms. Garcia-Allen talked about planning for the future through the following activities: Comprehensive Plan, VPP grant; Active Transportation Plan, Walk Works grant; SALDO and zoning ordinance rewrite, DVRPC's TCDI grant; five-year strategic management plan, PA DCED grant (STMP phase one); and strategic investments to improve efficiencies and expand capacity, PA DCED grant (STMP phase two). Lastly, Ms. Garcia-Allen reported on the following current borough projects: Oxford's main street downtown art gallery; adaptive reuse and downtown redevelopment; Oxford's historic theater revival, \$2.1 million state RACP grant; and Niblock Alley redevelopment, \$1 million CRP award.

ACTION ITEMS:

Approval of Meeting Minutes:

A MOTION TO APPROVE THE MINUTES FOR THE AUGUST 9, 2023 MEETING OF THE CHESTER COUNTY PLANNING COMMISSION WAS MADE BY MR. CLINE, SECONDED BY MR. HAMMOND, AND PASSED BY UNANIMOUS VOTE OF THE COMMISSION.

Act 247 Reviews:

Subdivision and Land Development Reviews:

There were twenty-nine (29) Subdivision and Land Development Reviews prepared in August 2023.

A MOTION TO APPROVE THE TWENTY-NINE (29) SUBDIVISION AND LAND DEVELOPMENT REVIEWS WAS MADE BY MR. HAMMOND, SECONDED BY MR. WRIGHT, AND PASSED BY UNANIMOUS VOTE OF THE COMMISSION.

Mr. Hammond recused himself from the following applications: CU-07-23-17770; CU-07-23-17747; LD-07-23-17751; LD-07-23-17752; LD-07-23-17762; LD-07-23-17761; LD-06-23-17733; LD-07-23-17753.

Mr. Cline recused himself from the following applications: SD-06-23-17732; LD-07-23-17749.

Comprehensive Plan, Zoning and Subdivision Ordinance Amendments, Miscellaneous Reviews:

There were eighteen (18) Comprehensive Plan, Zoning and Subdivision Ordinance Amendment, and Miscellaneous Reviews prepared in August 2023.

A MOTION TO APPROVE THE EIGHTEEN (18) COMPREHENSIVE PLAN, ZONING AND SUBDIVISION ORDINANCE AMENDMENT, AND MISCELLANEOUS REVIEWS WAS MADE BY MS. COSENTINO, SECONDED BY MS. MORRISON, AND PASSED BY UNANIMOUS VOTE OF THE COMMISSION.

Act 537 Reviews:

Ms. Conwell presented the Commission with four (4) minor Act 537 reviews for the month of August.

A MOTION TO APPROVE THE FOUR (4) MINOR ACT 537 REVIEWS WAS MADE BY DR. FASIC, SECONDED BY MR. WRIGHT, AND PASSED BY UNANIMOUS VOTE OF THE COMMISSION.

DISCUSSION AND INFORMATION ITEMS:

Community Planning Division Update:

Mr. Deguffroy reported that the update of the Oxford Regional Comprehensive Plan, consisting of six municipalities, will be a new project for staff, beginning in the next couple of months. Mr. Deguffroy reported that the 2023 Town Tours and Village Walks have wrapped up and that there were over 1,500 attendees this summer.

Next, Mr. Deguffroy reported that the second grant round of the Vision Partnership Program closed on September 8. Staff are reviewing the applications and the VPP grants subcommittee will meet in October. The subcommittee will present their recommendations to the CCPC board in November.

Lastly, Mr. Deguffroy reported on the Starter Home Initiative. Staff met with several municipalities regarding ordinance analysis and housing diversity.

Agricultural Development Council Update:

Ms. Lane reported on last month's ADC's board meeting. ADC's board expressed support for the following two new projects: sustainability outreach presented by Rachael Griffith and a farm suitability mapping tool presented by Paul Fritz. Future eTools were also discussed, including an agritainment eTool and a forestry eTool.

Sustainability Division Update:

Ms. Griffith reported that the Sustainability Summit is scheduled for Tuesday, September 26 at Penn State's Great Valley campus. The summit will consist of a half-day, 7:30am-1:30pm conference highlighting the county's Climate Action Plan, including exhibitors, and lunch is provided. College and high school students are registered for the summit and will attend a career chat during the summit. Additional Sustainability tours will also take place during this same week.

Ms. Griffith reported on the creation of a local government climate action team consisting of fifteen municipalities who are interested in implementing either the county's climate action plan or their own. The team is researching and reviewing ordinances that promote, require, and incentivize energy efficiency and renewable energy.

Next, Ms. Griffith reported that DVRPC has been convening PA counties and other counties in Delaware, New Jersey, and Maryland around energy sustainability initiatives, including a priority regional climate action plan, funded by the EPA through a climate pollution reduction grant. The regional plan will be completed by March 2024 followed by implementation grants.

Lastly, Ms. Griffith reported that Carrie Conwell is a member of the steering committee for the Brandywine Creek flood study led by the Water Resources Authority and the Brandywine Conservancy.

Multimodal Transportation Division Update:

Mr. Styche reported on awards announced in August. PENNDOT's Green Light-Go program awarded \$267,125 in funds to Westtown Township for updated signal equipment and \$486,226 in funds to Willistown Township for fiber optic communication system expansion. PENNDOT's Multimodal Transportation program awarded \$849,775 to Phoenixville Borough for the realignment and reconstruction of Mowere Road; \$1,236,308 to East Whiteland Township for the widening of Route 30, an east-bound right turn lane, and a bike lane at PA 352; and \$975,266 to West Bradford Township for the Marshalton Thorndale/Poorhouse roads roundabout.

Next, Mr. Styche reported that his division participated in a field view of the Philadelphia and Thorndale trail corridor. Staff investigated the 3.4-mile segment between the Whitford Bridge and the Downingtown Trestle. The Oak Ridge HOA has agreed to quick claim their parcel to the county for easy access to the trail, which will allow PENNDOT to move forward with their disposition of the P&T corridor to the county and SEPTA.

Ms. Quinn reported on the Transportation Improvement Inventory (TII) that feeds into the Transportation Priority Projects (TPP). The TII is complete. The TPP is nearing completion. DVRPC's long range plan, which is updated every five years, is also part of this process. CCPC has begun assisting planning partners with updating DVRPC's Transportation Improvement Program

(TIP).

Ms. Quinn noted that the TII is a fully comprehensive list of municipal transportation needs and state and county bridge priorities which are placed into the following categories for reporting purposes: roadway, bridge, freight, bicycle/pedestrian, and transit. The method to complete the TII final report is as follows: municipal outreach, data collection, inventory update, ranking process, and GIS updates. Ms. Quinn summarized the 2021 and 2023 TII data: 2021 TII – 525 proposed roadway, bridge, bicycle and pedestrian, freight, and transit projects with an estimated cost of \$4.5 Billion; 2023 TII - 511 proposed roadway, bridge, bicycle and pedestrian, freight, and transit projects with an estimated cost of \$4.35 Billion.

Design and Technology Division Update:

Mr. Fritz reported that the 247 planners reviewed and processed many plan and ordinance submittals. Also, research on agricultural-related zoning for the county’s municipalities continued. The GIS staff assisted the Community Planning Division with municipal mapping requests and work program projects. Staff also addressed data requests from outside entities and assisted Parks + Preservation with their annual Land Evaluation and Site Assessment (LESA). The Graphics team assisted with various products, including a rack card promoting rural road safety and conceptual development illustrations for the West Sadsbury Comprehensive Plan.

Mr. Fritz noted on the monthly plan reviews that apartment and single-family home numbers are strong. A number of schools and a rare office complex have been proposed. Bishop Tube has been proposed again and will appear in next month’s review letters.

Director’s Report:

Mr. O’Leary encouraged the board to sign up for the 2023 Fall Events: Sustainability Summit, Planners’ Forum, Urban Centers Forum, and the Housing Forum.

Mr. O’Leary summarized the 2023 work program projects’ statuses and the potential 2024 work program projects for the six Landscapes3 goal areas: Preserve, Protect, Appreciate, Live, Prosper, and Connect.

ADJOURNMENT

THERE BEING NO FURTHER BUSINESS, A MOTION TO ADJOURN AT 3:34 PM WAS MADE BY MR. HAMMOND, SECONDED BY MS. DUNCAN, AND PASSED BY UNANIMOUS VOTE OF THE COMMISSION.

Respectfully submitted,



Brian N. O’Leary, AICP
Secretary

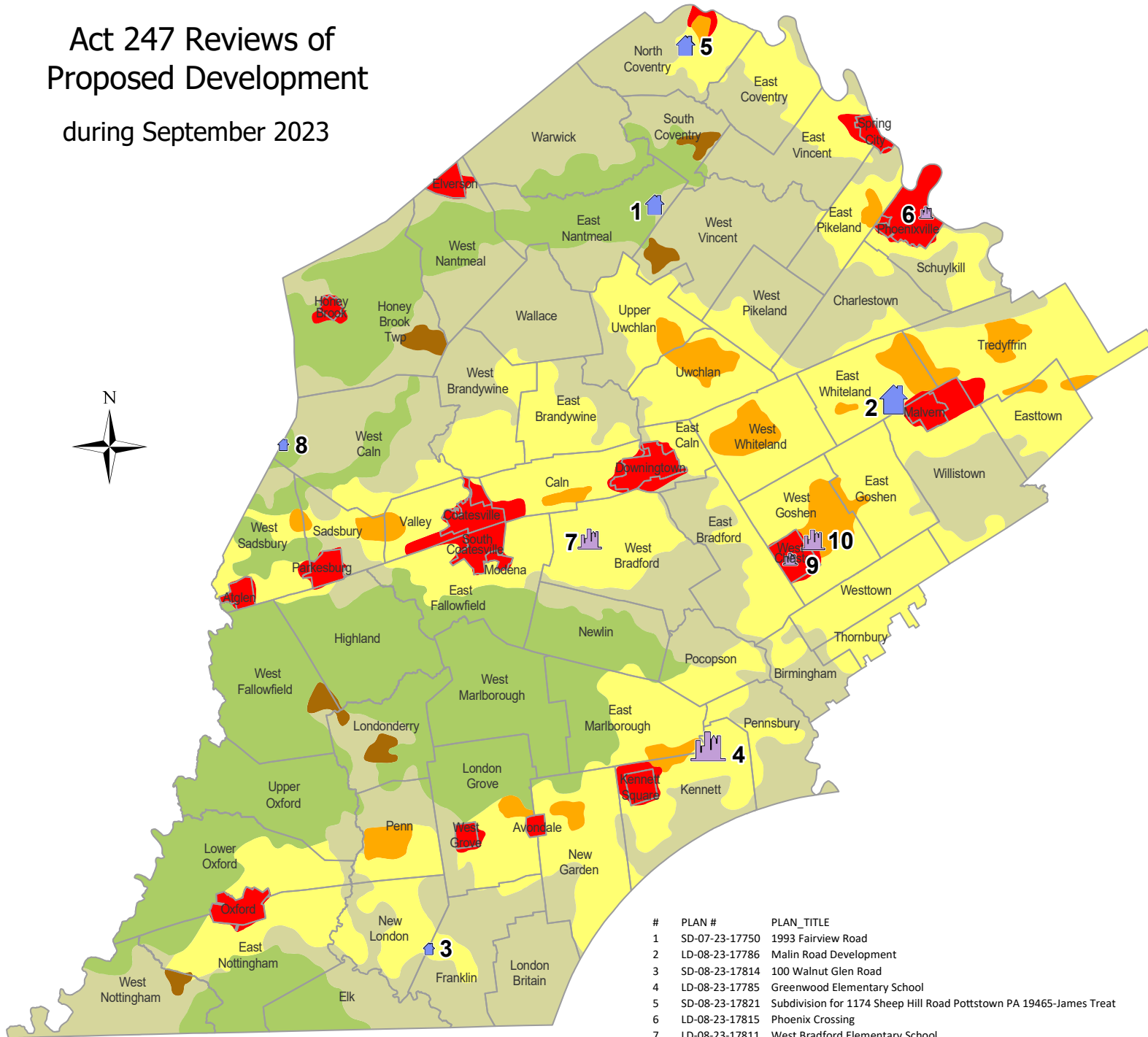
BNO/ncs

Act 247 Reviews

Subdivision & Land Development



Act 247 Reviews of Proposed Development during September 2023



Symbols

Residential Lots/Units

- 1 - 2
- 3 - 50
- 51 - 600

Non-Residential Square Feet

- 1 - 10,000
- 10,001 - 100,000
- 100,001 - 1,200,000

Other

- Mixed Use
- Not Consistent with Landscapes³
- Not Consistent with Landscapes³

Landscapes³

Growth Areas

- Urban Center
- Suburban Center
- Suburban
- Rural Center

Rural Resource Areas

- Rural
- Agricultural

Note: Excludes lot line revisions, lot consolidations, second reviews, sketch plans, and surface parking, UNLESS those reviews cited unique or significant community impacts.

#	PLAN #	PLAN TITLE
1	SD-07-23-17750	1993 Fairview Road
2	LD-08-23-17786	Malin Road Development
3	SD-08-23-17814	100 Walnut Glen Road
4	LD-08-23-17785	Greenwood Elementary School
5	SD-08-23-17821	Subdivision for 1174 Sheep Hill Road Pottstown PA 19465-James Treat
6	LD-08-23-17815	Phoenix Crossing
7	LD-08-23-17811	West Bradford Elementary School
8	SD-08-23-17804	Robert Fisher
9	LD-08-23-17810	Barclay Park LLC
10	LD-08-23-17826	820 E. Washington St. Automobile Repair Facility

Subdivision and Land Development Reviews 9/1/2023 to 9/30/2023

Municipality	Plan #	Title	Review Date	Acreage	Land Use	Lots/Units	Non-Res. Sq. Footage	Structure Use	Non-Res. Bldgs.	Roads (L. Feet)	Landscapes ³ (Yes, No, N/R)
East Nantmeal Township	SD-07-23-17750	1993 Fairview Road	9/5/2023	97.82	Single Family Residential	4		Residential Single Family Residential		0	Yes
East Whiteland Township	LD-08-23-17786	Malin Road Development	9/1/2023	13.71	Townhouse	86		Residential Townhouse		2,230	Yes
Franklin Township	SD-08-23-17814	100 Walnut Glen Road	9/14/2023	18.40	Single Family Residential	2		Residential Single Family Residential		0	Yes
Kennett Township	LD-08-23-17785	Greenwood Elementary School	9/14/2023	24.54	Institutional	1	105,000	Institutional School	1		Yes
North Coventry Township	SD-08-23-17821	Subdivision for 1174 Sheep Hill Road Pottstown PA 19465-James Treat	9/25/2023	7.45	Single Family Residential Agricultural	5		Residential Single Family Residential Agricultural Open Space Conservation		528	Yes
Phoenixville Borough	LD-08-23-17815	Phoenix Crossing	9/20/2023	3.93	Apartment Commercial	24	5,059	Residential Apartment Commercial Retail	1		Yes
West Bradford Township	LD-08-23-17811	West Bradford Elementary School	9/8/2023	21.12	Institutional	1	16,010	Institutional School	1	0	Yes
West Caln Township	SD-08-23-17804	Robert Fisher	9/6/2023	4.93	Single Family Residential	2		Residential Single Family Residential			Yes
West Caln Township	SD-08-23-17805	Leroy J. Lapp	9/6/2023	18.93	Agricultural	1		Agricultural Farm/Pasture Land			Yes
West Chester Borough	LD-08-23-17810	Barclay Park LLC	9/15/2023	0.27	Commercial	1	2,304	Commercial Office Building	1	0	Yes
West Chester Borough	SD-08-23-17809	Barclay Park LLC	9/15/2023	0.27	Commercial	1		Commercial Addition to Existing		0	Yes
West Goshen Township	LD-08-23-17826	820 E. Washington St. Automobile Repair Facility	9/15/2023	4.22	Commercial	1	17,227	Commercial Addition to Existing	1		Yes

Subdivision and Land Development Reviews 9/1/2023 to 9/30/2023

Municipality	Plan #	Title	Review Date	Acreage	Land Use	Lots/Units	Non-Res. Sq. Footage	Structure Use	Non-Res. Bldgs.	Roads (L. Feet)	Landscapes3 (Yes, No, N/R)
West Sadsbury Township	SD-08-23-17829	Eli K. and Rebecca M. Lapp Lot Add-On	9/22/2023	5.67	Single Family Residential	2		Residential Single Family Residential		0	Yes
Grand Totals of Subdivision and Land Development Reviews		13 Reviews		221.25 Acres		131 Lots/Units	145,600 Non-Res. Sq. Feet		5 Non-Res. Bldgs.	2,758 Linear Feet Roadway	

There are **13** plans consistent, **0** plans inconsistent, and **0** plans with no relevance to *Landscapes3*.

Unofficial Sketch Plan Evaluations 9/1/2023 to 9/30/2023

Municipality	Plan #	Title	Review Date	Acreage	Land Use	Lots/Units	Non-Res. Sq. Footage	Structure Use	Non-Res. Bldgs.	Roads (L. Feet)	Landscapes3 (Yes, No, N/R)
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No Unofficial Sketch Plan Evaluations were conducted during this timeframe.

Conditional Use Reviews

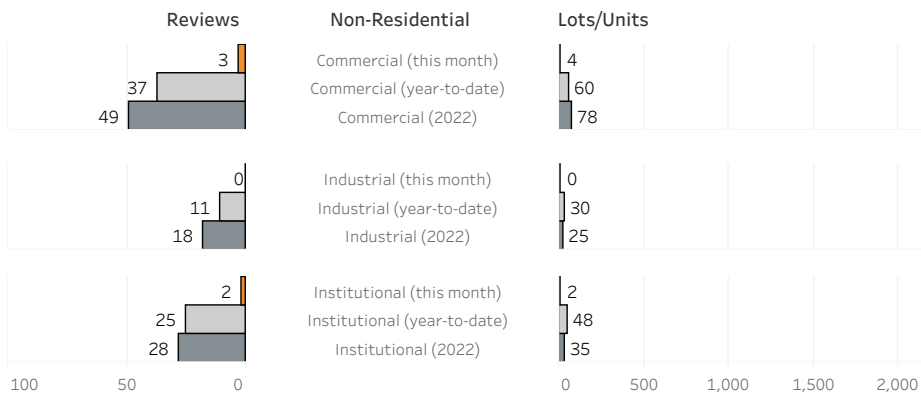
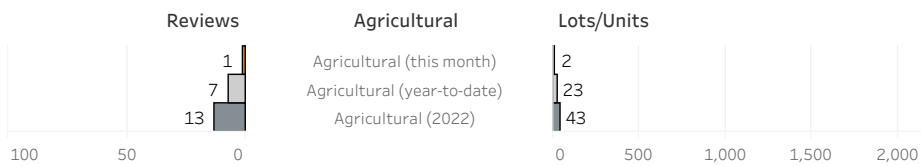
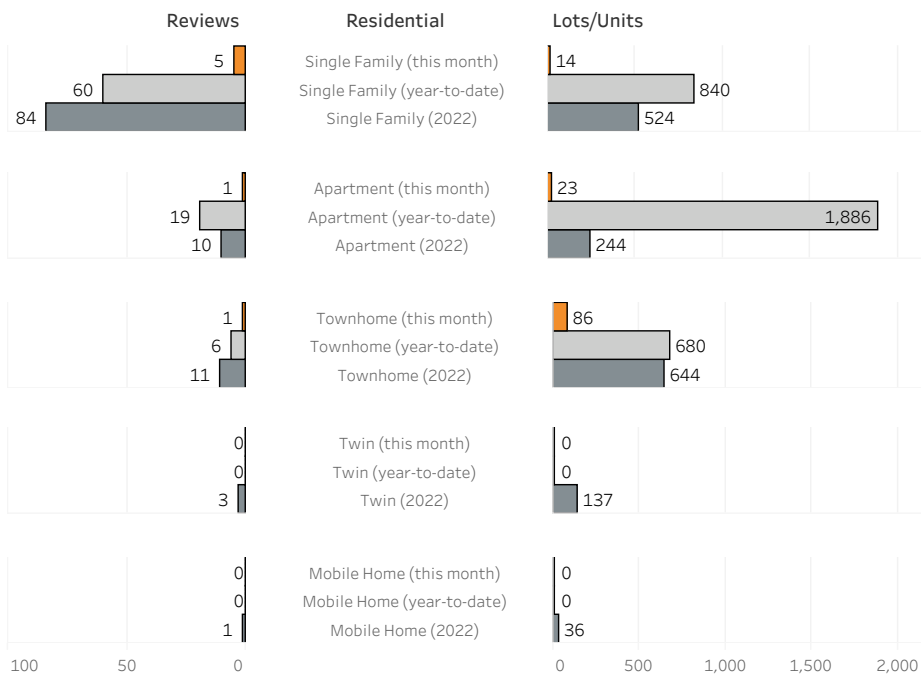
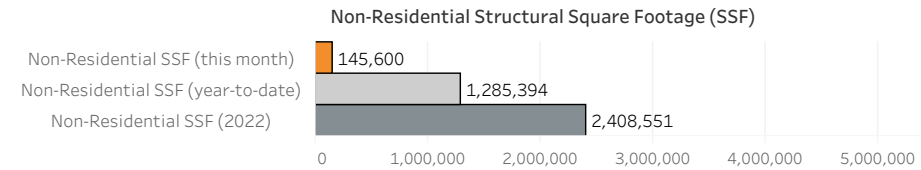
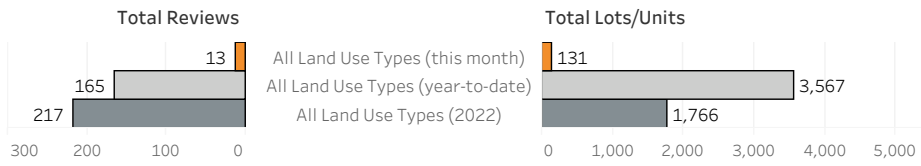
9/1/2023 to 9/30/2023

Municipality	Plan #	Title	Review Date	Acreage	Land Use	Lots/Units	Non-Res. Sq. Footage	Structure Use	Non-Res. Bldgs.	Roads (L. Feet)	Landscapes? (Yes, No, N/R)
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No Conditional Use Reviews were conducted during this timeframe.

Subdivision and Land Development Applications

September 2023



Subdivision & Land Development Letters





THE COUNTY OF CHESTER



COMMISSIONERS
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Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

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September 5, 2023

Susan Rutherford, Secretary/Treasurer
East Nantmeal Township
3383 Conestoga Road
Glenmoore, PA 19343

Re: Preliminary/Final Subdivision - 1993 Fairview Road
East Nantmeal Township - SD-07-23-17750

Dear Ms. Rutherford:

A preliminary/final subdivision plan entitled "1993 Fairview Road", prepared by Bursich Associates, Inc. and dated August 17, 2023, was received by this office on August 17, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

PROJECT SUMMARY:

Location:	North and south sides of Fairview Road (State Route 4031), west of Pottstown Pike (State Route 100)
Site Acreage:	97.82 acres
Lots:	4 lots
Proposed Land Use:	Residential
Municipal Land Use Plan Designation:	Agricultural/Residential and Commercial
UPI#:	24-5-97, 24-5-40.10, 24-5-40

PROPOSAL:

The applicant proposes a lot line change plan and a subdivision plan involving three properties located on both sides of Fairview Road. UPI 24-5-97 (87 acres) is proposed to be subdivided into two lots for future residential purposes; proposed Lot 3 will be 12.15 acres and Lot 4 will be 74.81 acres. The lot lines between UPI 24-5-40 (proposed Lot 1) and UPI 24-5-40.10 (proposed Lot 2) will be adjusted to create a 13,507 square foot area that will be annexed from Lot 2 to be added to Lot 1. Additional areas of 6,896 square feet and 6,611 square feet will be annexed from Lot 1 to be added to Lot 2. Both Lots 1 and 2 will have the same lot areas after the subdivision.

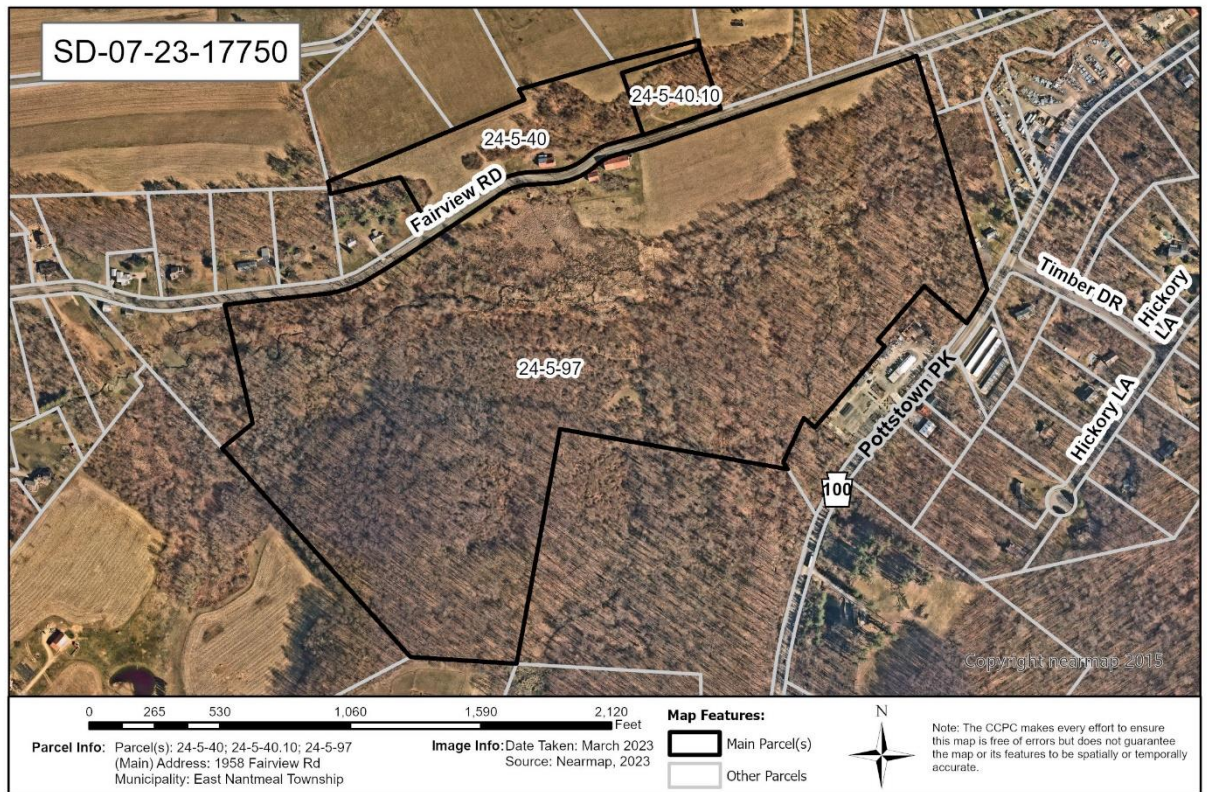
The site, which will be served by on-site water and on-site sewer facilities, is located in the East Nantmeal Township AR Agricultural Residential and C Commercial zoning districts. The tract contains existing structures.

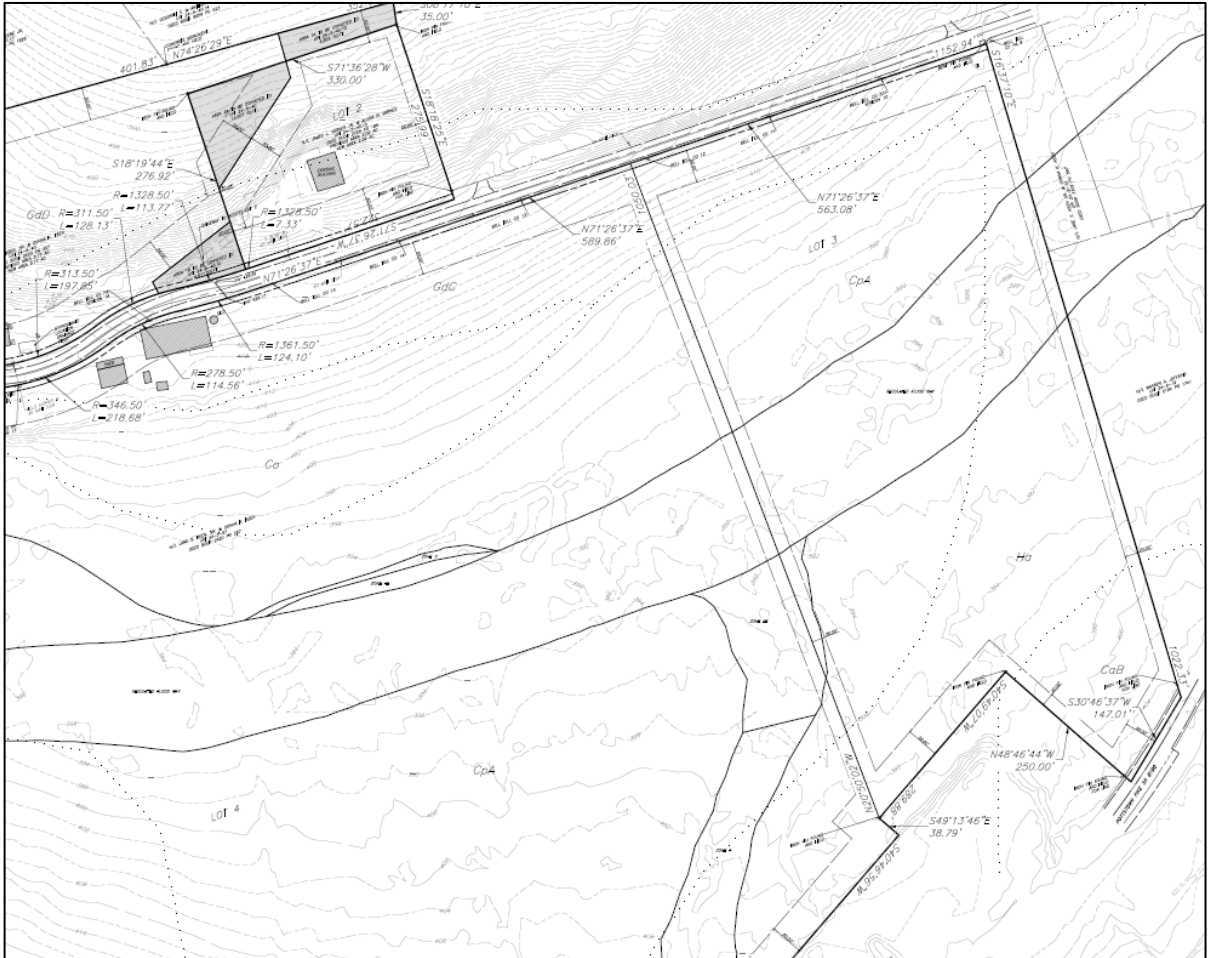
RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all East Nantmeal Township issues should be resolved before action is taken on this subdivision plan.

COUNTY POLICY:

LANDSCAPES:

1. The site is located within the **Agricultural Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. This landscape consists of large concentrations of active and diverse farm operations along with related support services. The vision for the **Agricultural Landscape** is very limited development occurring at very low densities to preserve prime agricultural soils and farm operations. The proposed subdivision is consistent with the objectives of the **Agricultural Landscape**.





***Detail of 1993 Fairview Road
Preliminary/Final Subdivision Plan***

PRIMARY ISSUES:

2. A portion of the site appears to be located in the East Nantmeal Township Commercial zoning district, but the Commercial District's zoning boundary or its zoning data does not appear on the plan. The applicant should show all relevant zoning data to permit the Township to determine compliance with the Township Zoning Ordinance.
3. A letter from the East Nantmeal Township Engineer to the Township, dated July 12, 2023, states that it appears there may be a conservation easement on all three lots. This should be clarified.
4. Portions of the tract contain natural resources such as floodplain areas, steep slopes, wetlands and woodlands, and the tract is located in the East Nantmeal Township Agricultural Residential zoning district as well as in the **Agricultural Landscape** designation of [Landscapes3](#). Therefore, we suggest that the applicant consider deed-restricting this site from further development. We recommend that the applicant contact Chester County Parks + Preservation (telephone #610-344-5656) for information on the advantages of being in the County Agricultural Land Preservation Program and how lands under the agricultural conservation easement are protected. If the applicant is interested in participating in the County Land Preservation Program, they should initially contact the Township to add the parcel to the Township's Agricultural Security Area Program; this is a prerequisite to participation in the County Program.

Page: 4
Re: Preliminary/Final Subdivision - 1993 Fairview Road
East Nantmeal Township - SD-07-23-17750

Alternatively, if development is being considered for the remainder of this site as noted by the applicant, we encourage the applicant to submit a sketch plan for any future development. A sketch plan allows the applicant to take advantage of County and municipal expertise and consider design recommendations prior to preparing a fully engineered preliminary or final plan.

5. The lot adjustments to proposed Lot 2 will result in an oddly-shaped lot. We suggest that the applicant attempt to create a more uniform lot shape.
6. The County Planning Commission's Multimodal Circulation Handbook (2016 Update), which is available online at www.chescoplanning.org/resources/PubsTransportation.cfm, classifies Fairview Road (State Route 4031) as a minor collector. A small portion of the site fronts on Pottstown Pike (State Route 100), which is classified as a major arterial. The Handbook (page 183) recommends an 80 foot-wide right-of-way for minor collector roads and a 150 foot-wide right-of-way for major arterial roads to accommodate future road and infrastructure improvements. We recommend that the applicant and the Township contact PennDOT to determine the appropriate rights-of-way to be reserved for these sections of Fairview Road and Pottstown Pike and that they be identified as dedicated rights-of-way, and be offered for dedication to PennDOT.

ADMINISTRATIVE ISSUE:

7. A minimum of five copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Nantmeal Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Wes Bruckno, AICP
Senior Review Planner

cc: Lane S. Keen, Sr.
Bursich Associates, Inc.
Chester County Health Department
Anthony Antonelli, District Permits Manager, PennDOT
Francis J. Hanney, PennDOT



THE COUNTY OF CHESTER



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September 1, 2023

Zachary Barner, AICP, Director of Planning & Development
East Whiteland Township
209 Conestoga Road
Frazer, PA 19355

Re: Final Land Development - Malin Road Development
East Whiteland Township – LD-08-23-17786

Dear Mr. Barner:

A Final Land Development Plan entitled "Malin Road Development", prepared by Taylor Wiseman & Taylor, and dated May 12, 2023, and last revised on July 7, 2023, was received by this office on August 7, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

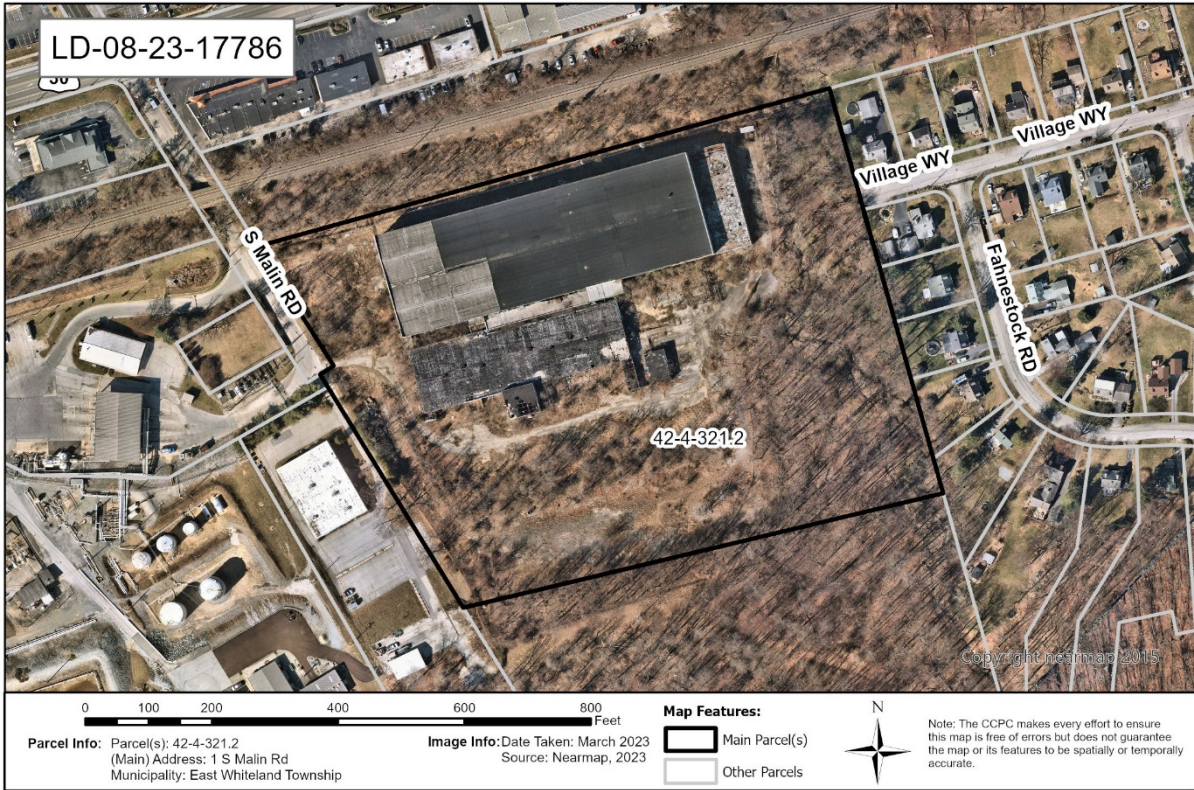
PROJECT SUMMARY:

Location:	south end of Malin Road, south of Lancaster Avenue (Route 30)
Site Acreage:	13.71
Proposed Land Use:	86 townhouse units
New Parking Spaces:	15 off-street parking spaces
Municipal Land Use Plan Designation:	Residential - Medium Density
UPI#:	42-4-321.2

PROPOSAL:

The applicant proposes the construction of 86 townhouse units. The existing building on this site, which was formerly the site of the Bishop Tube Company, will be removed. The project site, which will be served by public water and public sewer, is located in the RRD Residential Revitalization zoning district.

RECOMMENDATION: The County Planning Commission recommends that the Township reserve taking action on this final land development, until the design of all required remediation efforts have been finalized, and approved by the Pennsylvania Department of Environment Protection (this issue is further discussed in comment #5). All other issues raised in this letter should also be addressed, and all Township issues should be resolved before action is taken on this land development plan.



Site Plan Detail, Sheet 5: Final Land Development - Malin Road Development

BACKGROUND:

1. The Chester County Planning Commission previously reviewed a preliminary land development proposal for this parcel along with two adjoining parcels to the south and to the west. CCPC# LD-2-15-11279, dated March 9, 2015, addressed the creation of 264 townhouse units and a 3,000 square foot community center on a 23.1 acre site (UPI# 42-4-321, 42-4-321.1, and 42-4-321.2). It is our understanding that, on February 10, 2021, the Township granted preliminary land development plan approval for the construction of 86 townhouse units on UPI# 42-4-321.2, for a plan dated September 22, 2018 and last revised October 18, 2020 (this preliminary plan has not been reviewed by the County Planning Commission).
2. The County Planning Commission reviewed a zoning map amendment petition to change the zoning designation of UPI# 42-4-321 and 42-4-321.1 from RRD Residential Revitalization to I Industrial (CCPC# ZM-02-21-16647, dated March 24, 2021). According to our records, this zoning map amendment was adopted by the Township on April 14, 2021. Subsequently, the County Planning Commission reviewed the following land development plans for these parcels:
 - A. CCPC# LD-11-21-16976, “Evergreen Landscaping, Inc.,” dated December 15, 2021: a preliminary land development plan that proposed the construction of a 6,000 square foot garage, a 1,200 square foot shed, material storage bays, and 24 parking spaces, for a landscaping company on UPI# 42-4-321 (9 Malin Road). We have no official record that the Township has taken action on this proposal.
 - B. CCPC# LD-02-22-17086, “10 Mail Road Associates, L.P.,” dated March 10, 2022: a preliminary land development plan that proposed the construction of an 11,000 square foot industrial building, and 24 additional parking spaces, on UPI# 42-4-321.1 (10 Malin Road). We have no official record that the Township has taken action on this proposal.

COUNTY POLICY:

LANDSCAPES:

3. The project site is located within the **Suburban Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Additionally, roads, sidewalks and paths with convenient access to parks and community facilities should be provided.

While the proposed land development is generally consistent with the objectives of the **Suburban Landscape**, careful consideration of the proposed development activity is required for numerous issues, which include: remediation plans for groundwater, soil, and surface water contamination; site access for residential, emergency services and industrial uses along Malin Road; protection of natural features; design of stormwater management facilities; and coordination with the transmission pipeline(s) that traverse the site.

WATERSHEDS:

4. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Little Valley Creek subbasin of the Valley Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, restore water quality of “impaired” streams, and protect/enhance historic, cultural and recreational resources. **Watersheds** can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

Remediation Efforts:

5. The proposed land development is located on the site of the former Bishop Tube Facility, a site with recorded soil and groundwater contamination that is included in the Pennsylvania Department of Environmental Protection (PA DEP) Act 2 program. Sampling conducted by PA DEP has found elevated levels of Contaminants of Concern (COC) including chlorinated solvents, such as Trichloroethene (TCE), and other organic and inorganic compounds in both soil media and groundwater downgradient of the proposed land development.

We recommend that the Township reserve taking action on this final land development plan until the design of all required remediation efforts have been finalized, and approved by PA DEP. While the site plan currently depicts the location of contaminated soil areas to be remediated, the timeline for Remedial Action Implementation provided on DEP's website for the remediation of this site (last updated August 11, 2023), indicates that the pre-remedial design investigation work plan is estimated to be completed by Winter/Spring 2024, the pre-remedial design investigation activities are estimated to be completed by Summer 2024, followed by the remedial design phase. The details of the remediation efforts for this site are provided online at:

<https://www.dep.pa.gov/About/Regional/SoutheastRegion/Community%20Information/Pages/Bishop-Tube.aspx>.

Access and Circulation:

6. The Township's emergency service providers should be requested to review the plan to ensure that they can safely navigate the proposed development when completed. While we acknowledge that a gated emergency access connection to this site will be provided from Village Way to the east, the project site is located on the south side of the Pennsylvania Lines LLC railroad corridor, and vehicular access from Route 30 on South Malin Road travels underneath an existing railroad overpass. We also note that the design detail of the proposed cartway and sidewalk underneath the railroad overpass is provided on Sheet 28, and that a Maneuverability and Signage Plan for fire trucks is provided on Sheet 29.
7. We recommend that the applicant and Township consider providing a full access connection, rather than a gated emergency connection, to the adjoining site to the east. Major developments should have two fully improved access points for the provision of emergency services. Additionally, a full road connection will make the movement of delivery, maintenance, and municipal vehicles more efficient, and will provide convenient everyday access for residents. Additional information on this topic is available online at: www.chesco.org/DocumentCenter/View/27034.
8. We endorse the installation of sidewalks. Sidewalks are an essential design element for new construction in the **Suburban Landscape**.

Design Issues:

9. We suggest that the applicant and Township investigate the feasibility of providing a usable central open space area, along with recreational facilities, for this development. The open space should be in scale with the development, and accessible by all residents.

10. We note that the proposed garages directly face the street. We recommend that garages be set back from the facade. Garages recessed behind the front wall plane of the ground floor living area or covered porch allow the entry of a dwelling to become the prominent feature. Recessed garage setbacks also create a more pedestrian-friendly and appealing street scene.
11. The Township should verify that the design of the proposed outdoor lighting plan (Sheet 12) conforms to Township ordinance requirements. The illumination should be directed inward from the periphery of the site and be oriented to reduce glare and visual impact on the adjoining roadways and land uses.

Transmission Pipelines:

12. Sheet 5 identifies the location of a transmission pipeline easement along the western portion of the site, and Sheet 7 appears to indicate that there are two Sunoco Pipelines within this easement. The applicant and Township should ensure that the current status and owner/operator of the pipelines are identified on the plan. Additionally, the pipeline operator(s) should be contacted regarding the proposed development. Pipeline operator contact information is located on the pipeline markers within the easement and can also be found at the Chester County Pipeline Information Center Pipeline Operators page:
<http://www.chescoplanning.org/pic/operators.cfm>.

Applicants should be aware that the actual location of the pipeline may not always be within the center of the easement or right-of-way. To minimize risks before and during construction, the project designer should contact the Pennsylvania One Call Center at 811 or <https://www.pa1call.org/>, consistent with the provisions of Section 4(2) of Act 287 (Underground Utility Protection Act), prior to finalizing the design. The PA One Call Center should also be contacted at least 3 business days, but not more than 10 days, prior to any excavation. More information about pipeline safety can be found at the Chester County Pipeline Information Center at: <http://www.chescoplanning.org/pic/introduction.cfm>.

Natural Features Protection:

13. The site contains land within the 100 year floodplain, and we note that the proposed emergency access road will traverse this floodplain area. The Federal Emergency Management Agency and Pennsylvania Department of Environmental Protection regulate filling or development in the floodplain. The Township should request documentation of any required permit(s) before approving the plan. The access road to the east should be designed to minimize impact on the floodplain; as noted in comment #7, the County Planning Commission recommends that the applicant and Township consider providing a full access connection, rather than a gated emergency connection, to the adjoining site to the east.
14. The Township should confirm that Sheet 8 – Riparian Buffer Plan complies with the riparian buffer requirements in the Township Code. *Landscapes3* supports the comprehensive protection and restoration of the county’s ecosystems, including riparian corridors (“Protect” Objective B, page 63).
15. The plan and 2023 aerial photography indicate that a portion of the site is wooded. Mature trees and shrubs reduce the volume and impacts of stormwater runoff by intercepting precipitation, increasing evapotranspiration, and stabilizing soil through root growth. The removal of trees should be limited to the minimum area needed for the dwelling(s) and support facilities. The limits of tree removal should be clearly shown on the plan and “limits of disturbance” should be delineated to protect all trees that are intended to remain. Orange construction fencing should be

placed at the “limit of disturbance” to prevent unintended intrusion into woodland areas by construction equipment. This fencing should be placed at the drip line of any trees that are intended to remain to limit inadvertent impacts from construction equipment to root zones and long-term tree health. Additional native trees and shrubs should be incorporated into the landscaping plans to replace and mitigate the loss of removed trees.

16. The site contains delineated wetlands. Although it does not appear that any development activity will encroach into the delineated wetland area, the applicant should be aware that placement of fill in wetlands is regulated by the Corps of Engineers in accordance with Section 404 of the Clean Water Act (1977) and the Department of Environmental Protection under Chapter 105 Rules and Regulations for the Bureau of Dams and Waterway Management.
17. Given the development of new roadways, parking areas, and sidewalks, the applicant should consider establishing a de-icing plan and material storage area that minimizes the volume of de-icing chemicals and pollutants that will directly infiltrate to the groundwater or runoff to streams. Reducing chloride runoff from all pavement sources as well as roads is increasingly needed to minimize impacts to water resources.

Stormwater Management:

18. Land disturbance and land development activities that occur within the (East) Valley Creek watershed must comply with the applicable stormwater management ordinance standards as approved in the *Valley Creek Watershed Act 167 Stormwater Management Plan* (February 2011).
19. Given the existing groundwater contamination plume downgradient of this property, the applicant should not finalize the siting of stormwater management facilities until they have demonstrated that the concentrated infiltration of stormwater at proposed stormwater BMPs will not increase the mobilization of any Contaminants of Concern. If the applicant demonstrates that the proposed infiltration facilities will not increase the mobilization of Contaminants of Concern, the applicant should submit appropriate infiltration testing results that are consistent with the requirements in the Section 170-306 of the Township’s Stormwater Management Ordinance.
20. Following full site remediation, if the required infiltration volumes in Section 170-306 of the Township’s Stormwater Management Ordinance cannot be met, specifically near BMP #002, the applicant should consider innovative stormwater practices, such as the Managed Release Concept, to reduce the volume of stormwater discharged to Little Valley Creek.
21. Since the owner's designated operator and inspector of stormwater facilities is responsible for operation, maintenance, and inspection of these facilities, the applicant should ensure the designated operator/inspector is properly trained to inspect these facilities to reduce the potential for failure and to address any issues with facilities.
22. Little Valley Creek is an Exceptional Value stream that has been listed as impaired largely due to urban stormwater runoff. Flooding and damage from stormwater runoff in the Little Valley and Valley Creek watersheds have been exacerbated over the past several years due to the increased frequency of intense precipitation events. Monitoring results throughout Chester County show rapid increases in baseline chloride concentrations and pronounced spikes in chloride levels are often observed after winter precipitation events. Reducing chloride runoff from all pavement

sources as well as roads is increasingly needed to minimize impacts to water resources. The following should be considered:

- A. Green stormwater infrastructure practices, like vegetated swales or landscaped islands in parking lots, can be utilized to capture runoff and meltwater, provided that drainage into those features is provided (curb cuts, grading, etc.). In these cases, landscaping plans should give consideration to salt-tolerant plant species if salting is likely to occur near/drain into the vegetation.
 - B. Using deciduous trees in the landscaping plan can provide shade in hot summer months without blocking sunlight to encourage snow melt during winter months.
 - C. Consider permeable pavement options, like porous asphalt for parking stalls or permeable paver blocks for sidewalks. These allow water to infiltrate through the material, reducing the moisture on the surface available to freeze. Permeable paving may not be suitable for high traffic/heavy vehicle use areas like cart ways in parking lots, but traditional paving in these areas can be graded to drain into permeable sections of the lot.
23. The project is located in an area designated by the PaDEP as a Special Protection Watershed. Chester County's High Quality and Exceptional Value Watersheds are especially sensitive to degradation and pollution that could result from development. Therefore, stricter DEP or municipal limitations to wastewater and stormwater discharges may apply in this watershed. A map of Special Protection Watersheds in Chester County, PA may be viewed here: www.chesco.org/DocumentCenter/View/17339.

ADMINISTRATIVE ISSUES:

24. It is identified on Sheet 4 that, on April 25, 2017, the Township Zoning Hearing Board granted two variances for this project, including a variance to allow townhouses, roads, driveways and utilities to be constructed in natural and manmade steep slope areas. Prior to granting final plan approval, the Township should verify that the plan conforms to the decision issued by the Township Zoning Hearing Board. Any conditions of approval issued by the Zoning Hearing Board should be indicated on the final plan.
25. The Design Waiver Request table on Sheet 4 indicates that the applicant is requesting four waivers from the provisions of the Township Code, include three waivers from Article VI – Development and Design Standards of the Subdivision and Land Development Ordinance. Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage.
26. The applicant should contact the office of the Chester County Conservation District (telephone #610-455-1360) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for discharge of stormwater from construction activities. Additional information on this topic is provided online at: <https://www.chesco.org/284/ErosionStormwater>.
27. The plan and Act 247 County Referral Form both indicate that a Homeowners' Association will be responsible for the proposed common facilities/areas. Ownership, maintenance, use provisions, restrictions, and liability responsibilities associated with any commonly held amenities should be written into the Homeowners' Association (HOA) document. The HOA document should include provisions which allow the Township to: intervene and maintain

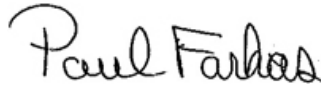
Page: 8
Re: Final Land Development - Malin Road Development
East Whiteland Township – LD-08-23-17786

common owned facilities; determine the schedule for Association formation; timing for construction of common facilities; and determine the schedule for transfer of ownership from developer to the HOA of common facilities. The HOA document should be submitted as part of the application to the municipality to be reviewed by an attorney versed in homeowners' association documents to evaluate the document for its completeness and compliance. We also recommend that the HOA document allow for rooftop solar installations and other energy efficiency and environmental conservation actions.

28. General Note 25 on Sheet 4 indicates that vapor mitigation systems are required for each residential structure, and that homeowners will be required to operate and maintain the system in perpetuity. The Township should consider educating all future homeowners of the long-term maintenance recommended for the lifespan of this infrastructure.
29. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of East Whiteland Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Paul Farkas
Senior Review Planner

cc: Constitution Drive Partners, LP
Taylor Wiseman & Taylor
Chester County Conservation District
Chester County Water Resources Authority



THE COUNTY OF CHESTER



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(610) 344-6285 Fax (610) 344-6515

September 14, 2023

Jeff Eastburn, Township Manager
Franklin Township
P.O. Box 118
Kemblesville, PA 19347

Re: Preliminary/Final Subdivision - 100 Walnut Glen Road
Franklin Township - SD-08-23-17814

Dear Mr. Eastburn:

A Preliminary/Final Subdivision Plan entitled "100 Walnut Glen Road", prepared by Hillcrest Associates, Inc., and dated July 28, 2023, was received by this office on August 25, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed Subdivision for your consideration.

PROJECT SUMMARY:

Location: north side of Walnut Glen Road, west of New London Road
(Route 896)
Site Acreage: 18.40
Lots/Units: 2 lots
Proposed Land Use: Single Family Residential
Municipal Land Use Plan Designation: Rural Resource
UPI#: 72-4-13.1

PROPOSAL:

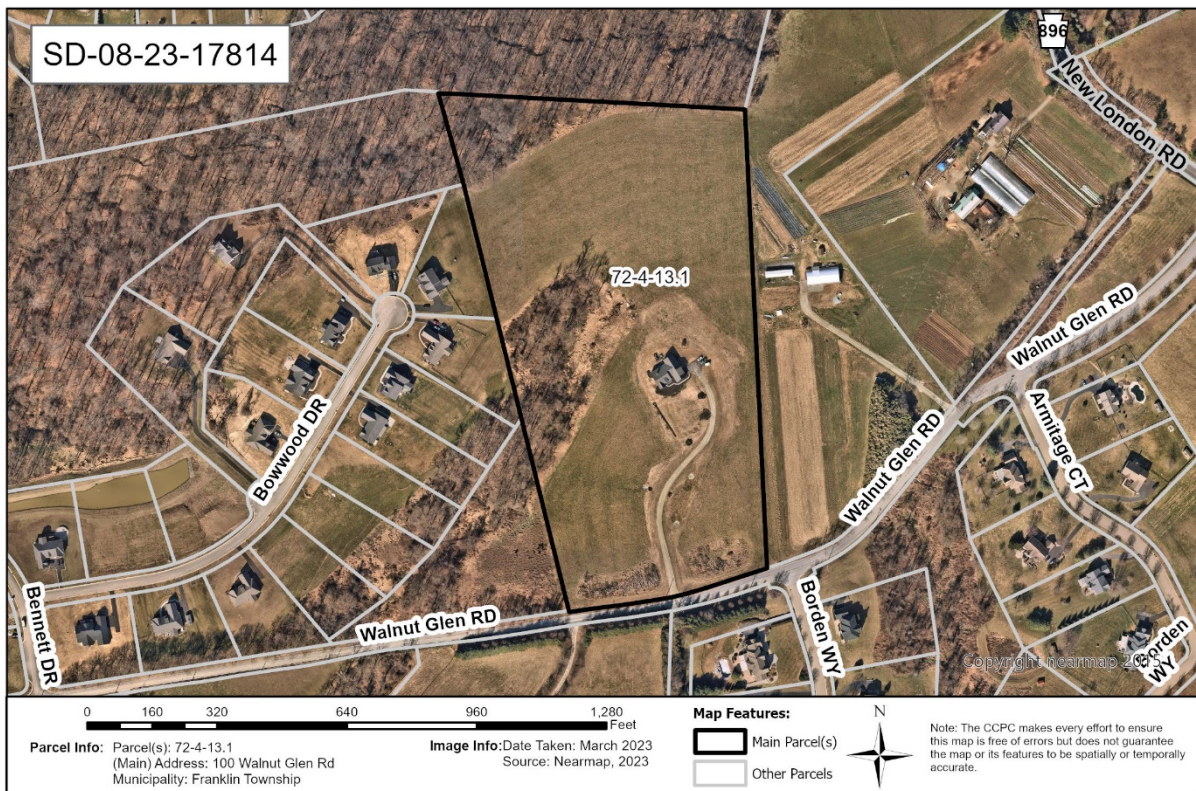
The applicant proposes the creation of 2 lots from an 18.3 acre parent parcel. The project site, which will be served by onsite water and onsite sewer, is located in the AR-Agricultural Residential zoning district.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all Township issues should be resolved before action is taken on this subdivision plan.

COUNTY POLICY:

LANDSCAPES:

1. The project site is located within the **Suburban Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. The proposed subdivision is consistent with the objectives of the **Suburban Landscape**.

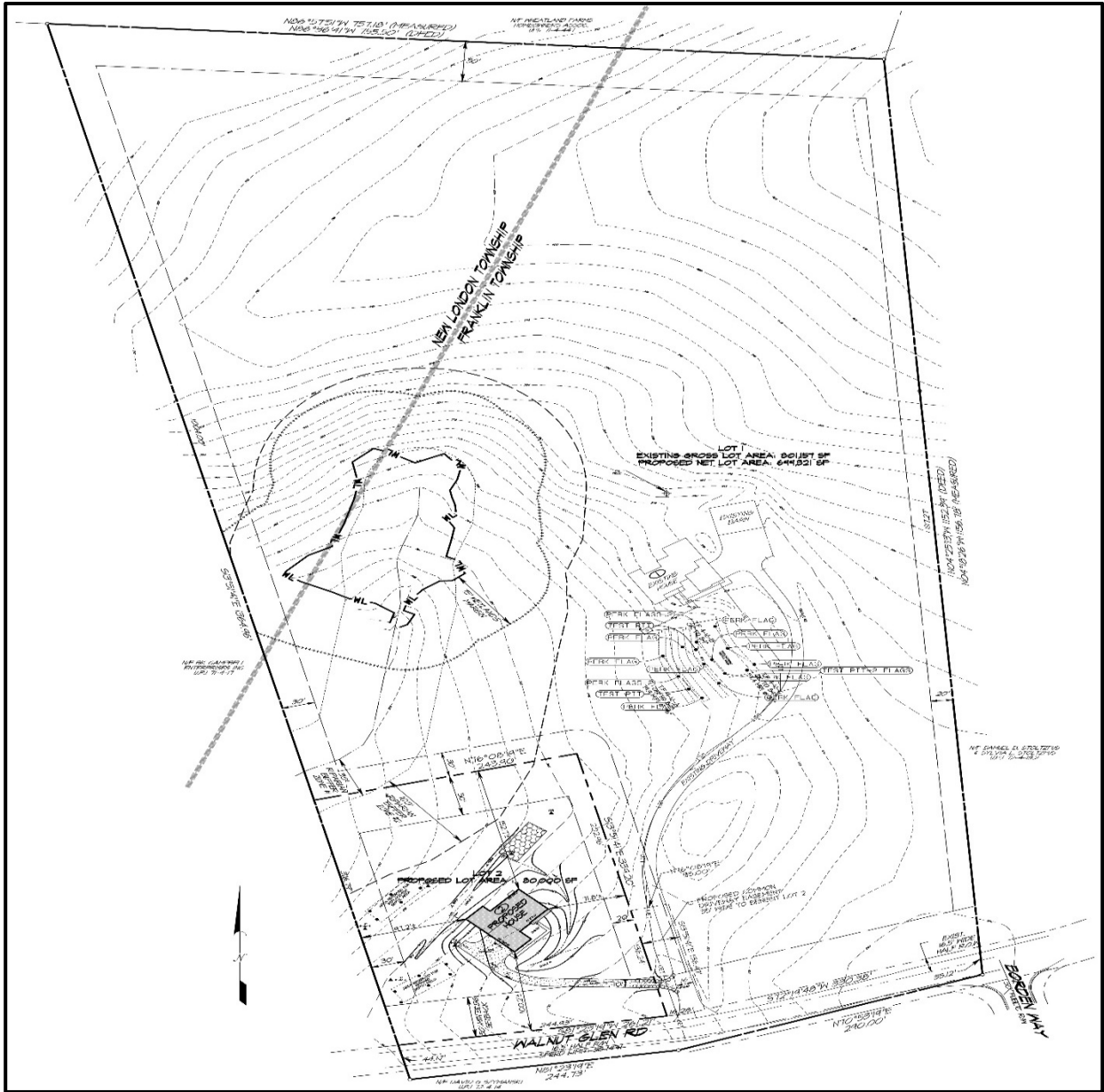


WATERSHEDS:

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Big Elk Creek subbasin of the Chesapeake Bay watershed. **Watersheds'** highest priority land use objectives within this watershed are: protection of ground water resources, implementation of comprehensive stormwater management, and protection of vegetated riparian corridors. **Watersheds** can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

3. Plan note #6 indicates that the area within the Ultimate Right-of-Way on the north side of Walnut Glen Road is offered for dedication. This Ultimate Right-of-Way should be labelled on the plan.



Detail of Sheet 1A of the plan

- The site plan states that the individual property owner will be responsible for the ownership and maintenance of all stormwater management facilities on their lot. Ongoing efforts by the municipality may be needed to educate the homeowners so that they can fully understand and fulfill the operation and maintenance requirements for these facilities.

ADMINISTRATIVE ISSUES:

- According to County Tax Assessment records, the project site appears to be subject to an Act 319 (Clean and Green) covenant. We advise the applicant to contact the Chester County Assessment Office (telephone #610-344-6105) to determine if this proposal could affect the applicant's tax status. Additional information on this topic is provided online at: www.chesco.org/256/Act-319--Clean-Green.

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Re: Preliminary/Final Subdivision - 100 Walnut Glen Road
Franklin Township - SD-08-23-17814

6. Details of the location and any use and maintenance provisions of the driveway easement should be incorporated into the deeds of both parcels.
7. A minimum of five (5) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of Franklin Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

A handwritten signature in black ink, appearing to read "Glenn Bentley", with a long horizontal flourish extending to the left.

Glenn Bentley
Senior Review Planner

cc: Gary and Jane Frazee
Heather and Joe Gill
Hillcrest Associates, Inc.
Maureen Zdun, New London Township, Secretary/Treasurer
Chester County Health Department
Chester County Conservation District
Chester County Assessment Office



THE COUNTY OF CHESTER



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September 14, 2023

Eden R. Ratliff, Manager
Kennett Township
801 Burrows Run Road
Chadds Ford, PA 19317

Re: Preliminary/Final Land Development - Greenwood Elementary School
Kennett Township - LD-08-23-17785

Dear Mr. Ratliff:

A Preliminary/Final Land Development Plan entitled "Greenwood Elementary School", prepared by T & M Associates, and dated July 28, 2023, was received by this office on August 18, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed Land Development for your consideration.

PROJECT SUMMARY:

Location:	east side of Greenwood Road, south of US Route 1
Site Acreage:	24.54
Lots/Units:	1 lot
Non-Res. Square Footage:	105,000
Proposed Land Use:	Elementary School
New Parking Spaces:	197
Municipal Land Use Plan Designation:	Cultural Conservation
UPI#:	62-1-36.3-E

PROPOSAL:

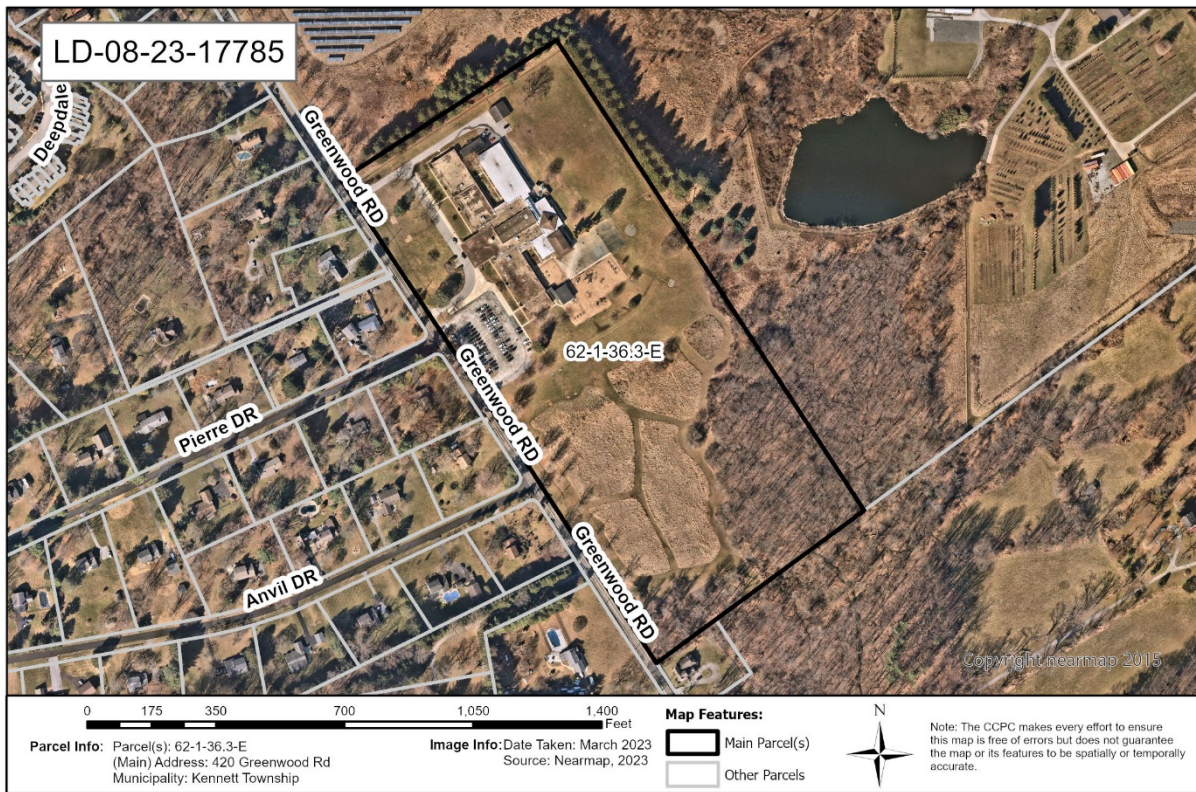
The applicant proposes the construction of a 105,000 square foot institutional building, 197 parking spaces and associated facilities. The project site, which will be served by public water and onsite sewer, is located in the CC-Cultural Conservation zoning district.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all Township issues should be resolved before action is taken on this land development plan.

COUNTY POLICY:

LANDSCAPES:

1. The project site is located within the **Suburban Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. The proposed land development is consistent with the objectives of the **Suburban Landscape**.

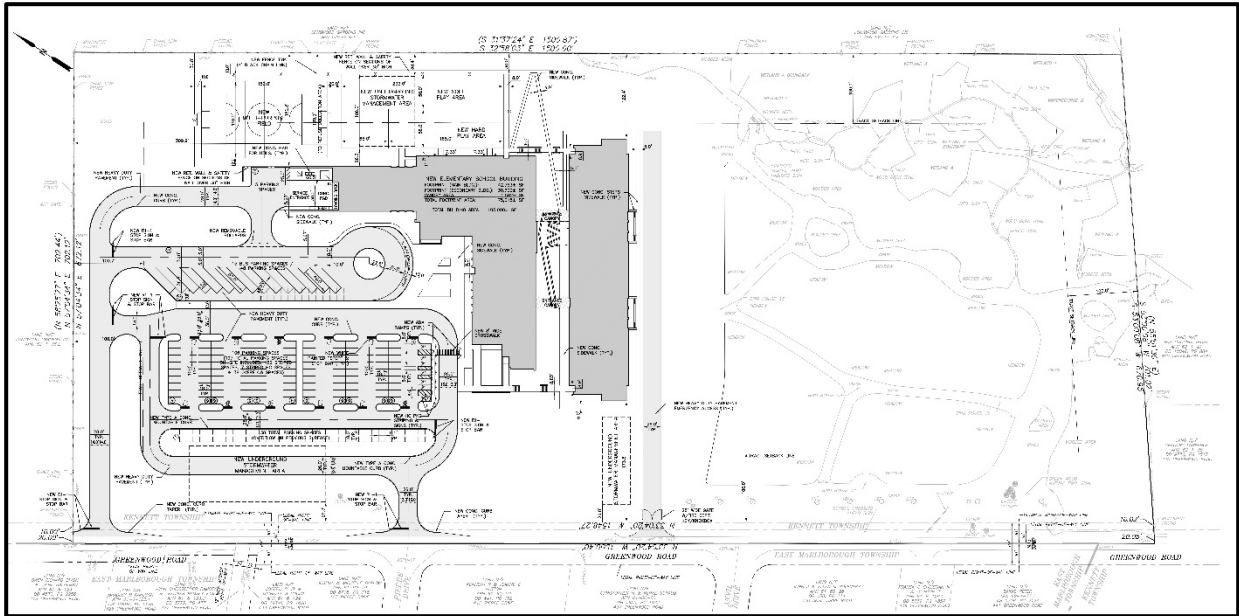


WATERSHEDS:

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Burroughs Run subbasin of the Red Clay Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduction of stormwater runoff, restoration of water quality of "impaired" streams, and protection of vegetated riparian corridors. **Watersheds** can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

3. Because the existing facilities will continue to be used during construction of the new facility, the applicant and the Township, should ensure that construction equipment, materials and personnel are completely separated from the active school population and construction operations are carried out with minimum disturbance of that population.



Detail of Sheet 2 of the land development plan

4. The proposed building includes large roof areas that may offer opportunities to improve the facility’s long-term sustainability and reduce its reliance on energy from the grid, such as designs that incorporate “green roofs,” “white roofs” and solar photovoltaic energy systems. Green roofs can reduce a building’s stormwater runoff, improve insulation, increase the longevity of the roof system, and reduce heating and cooling costs. White roofs can help reflect solar radiation and also reduce cooling costs. Photovoltaic energy systems can improve the facility’s long-term sustainability and reduce its reliance on energy from the grid. Additional information on green roofs is available at:
<https://www.chescoplanning.org/MuniCorner/eTools/05-GreenRoofs.cfm>.
Additional information on alternative energy systems such as photovoltaic systems is available at:
<https://www.dvrpc.org/EnergyClimate/AEOWG/>.
5. Although there are no sidewalks in the adjacent neighborhoods and near the existing school, the Township and School District should consider the potential for a future sidewalk system from residential areas to the school. At a minimum a crosswalk system should be designed to safely conduct pedestrians from the neighborhood west of the school to the elementary school grounds.
6. The School District, the County Health Department and the Township should discuss the need for identifying a replacement sewage absorption area on the site.
7. Sight distances at the access points to Greenwood Road should be shown on the plan and all proposed landscaping should be located to prevent limitation of these sight distances.
8. The bus parking bay and the main parking area shows 90 degree parking on both the east and west sides for the bus parking bay and on the west side on the island for the main parking lot. We assume that these are spaces for after-hours events. We recommend that these spaces be labelled so that all parties reviewing the plan are aware of this additional event parking.

STORMWATER CONSIDERATIONS:

9. The applicant should consider adding more trees and shrubs and including curb cuts in the parking lot islands to increase infiltration and reduce stormwater runoff.
10. Subsurface infiltration basins, such as BMP 1, should avoid being sited under driveways or parking areas and preferably under open space to increase infiltration of runoff from area above and minimize the impacts of compaction from activity above the bed. Applicant should consider adjusting the location of the infiltration beds. If locations of infiltrations beds remain partially under proposed driveways, applicant should ensure construction sequence of installation of the driveway so as to avoid impacting the functionality of the subsurface infiltration bed.
11. PCSM Operation & Maintenance - Stormwater Management and Water Quality Facilities
Frequency of O&M and inspections for stormwater facilities include “after all major storm events” or “after a large storm event,” which may be subjective to those responsible for O&M or inspections. Based on PADEP's 2022 Model Stormwater Management Ordinance for municipal separate storm sewer system (MS4s) (Section 802) and 2022 County-wide Act 167 Stormwater Model Ordinance, the applicant should consider specifying inspections of stormwater controls to include inspections during or immediately after the cessation of a 10-year or greater storm, at a minimum.
12. Since the owner's designated operator and inspector of stormwater facilities is responsible for operation, maintenance, and inspection of these facilities, the applicant should ensure the designated operator/inspector is properly trained to inspect these facilities to reduce the potential for failure and to address any issues with facilities.
13. Given the development of new driveways, parking lots, and sidewalk areas, the applicant should consider establishing a de-icing plan and material storage area that minimizes the volume of de-icing chemicals and pollutants that will directly infiltrate to the groundwater or runoff to local streams. Monitoring results throughout Chester County show rapid increases in baseline chloride concentrations and pronounced spikes in chloride levels are often observed after winter precipitation events. Reducing chloride runoff from all pavement sources as well as roads is increasingly needed to minimize impacts to water resources. The following should be considered:
 - a. It is recommended that parking lots be graded at slopes of between 2-4% to reduce the risk of depressions that result in ponding, and grading should direct runoff and meltwater into stormwater infrastructure or other no-traffic areas.
 - b. Care should be taken to remove and properly dispose of as much salt from spreaders as feasible prior to washing.
 - c. The applicant should consider collecting runoff from de-icing areas and using this for pre-wetting activities or sending it to a location for proper disposal.
 - d. Green stormwater infrastructure practices, like vegetated swales or landscaped islands in parking lots, can be utilized to capture runoff and meltwater, provided that drainage into those features is provided (curb cuts, grading, etc.). In these cases, landscaping plans should consider salt-tolerant plant species if salting is likely to occur near/drain into the vegetation.
 - e. Using deciduous trees in the landscaping plan can provide shade in hot summer months without blocking sunlight to encourage snow melt during winter months.
 - f. Consider permeable pavement options, like porous asphalt for parking stalls or permeable paver blocks for sidewalks. These allow water to infiltrate through the

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Re: Preliminary/Final Land Development - Greenwood Elementary School

Kennett Township - LD-08-23-17785

material, reducing the moisture on the surface available to freeze. Permeable paving may not be suitable for high traffic/heavy vehicle use areas like cart ways in parking lots, but traditional paving in these areas can be graded to drain into permeable sections of the lot.

14. We commend the School District for adding “No Dump” plates at stormwater inlets, as these provide an educational opportunity for school students, parents, and staff. Also see comment #17 below.

ADMINISTRATIVE ISSUES:

15. The Township’s emergency service providers should review the plan to ensure that they can safely access and maneuver around the facility to address on-site emergencies.
16. The applicant should contact the office of the Chester County Conservation District (telephone #610-455-1360) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for discharge of stormwater from construction activities. Additional information on this topic is provided online at: <https://www.chesco.org/284/ErosionStormwater>.
17. Because of the proximity of Longwood Gardens, it has been suggested that the school reach out to them to determine if there would be educational opportunities for elementary level students related to environmental subjects and horticulture. We note that the southern portion of the school parcel may be an appropriate area for outdoor study of these topics.
18. A minimum of five (5) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of Kennett Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Glenn Bentley
Senior Review Planner

cc: Kennett Consolidated School District
T and M Associates, Attn: Mark Buchvalt, P.E.
Diane Hicks, Director of Planning and Zoning
Chester County Health Department
Chester County Water Resources Authority
Chester County Conservation District
Neil Lovekin, Manager East Marlborough Township



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September 25, 2023

Erica Batdorf, Manager
North Coventry Township
845 South Hanover Street
Pottstown, PA 19465

Re: Preliminary Subdivision - 1174 Sheep Hill Road Pottstown PA 19465-James Treat
North Coventry Township - SD-08-23-17821

Dear Ms. Batdorf:

A preliminary subdivision plan entitled "Subdivision for 1174 Sheep Hill Road Pottstown PA 19465-James Treat", prepared by Edward B. Walsh & Associates, Inc., dated September 7, 2021 and last revised on February 7, 2023, was received by this office on September 5, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

PROJECT SUMMARY:

Location:	East side of Sheep Hill Road (State Route 4043), south of West Cedarville Road
Site Acreage:	7.45 acres
Lots:	5 lots
Proposed Land Use:	Single Family Residential, Open Space Conservation
Municipal Land Use Plan Designation:	Village
UPI#:	17-3-197.4

PROPOSAL:

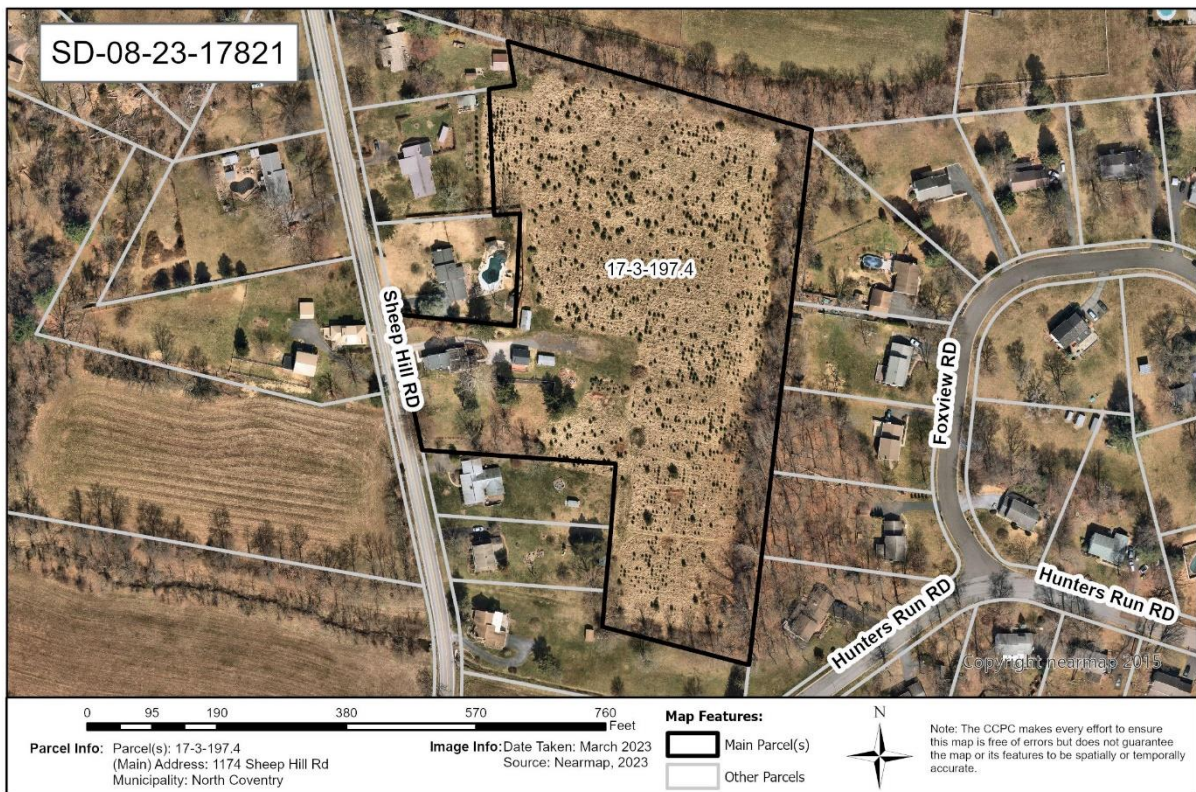
The applicant proposes the creation of five lots. The site, which contains one dwelling and will be served by on-site water and public sewer facilities, is located in the North Coventry Township R-1 Residential zoning district. A 528-foot long private road, with a cul-de-sac, is proposed. General Note 30 on the plan indicates that the applicant has received a conditional use approval from the Township to allow a conventional subdivision design under the provisions of the R1-2 Zoning Ordinance District.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all North Coventry Township issues should be resolved before action is taken on this subdivision plan.

COUNTY POLICY:

LANDSCAPES:

1. The site is located within the **Suburban Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Additionally, roads, sidewalks and paths with convenient access to parks and community facilities should be provided. The proposed subdivision is consistent with the objectives of the **Suburban Landscape**.

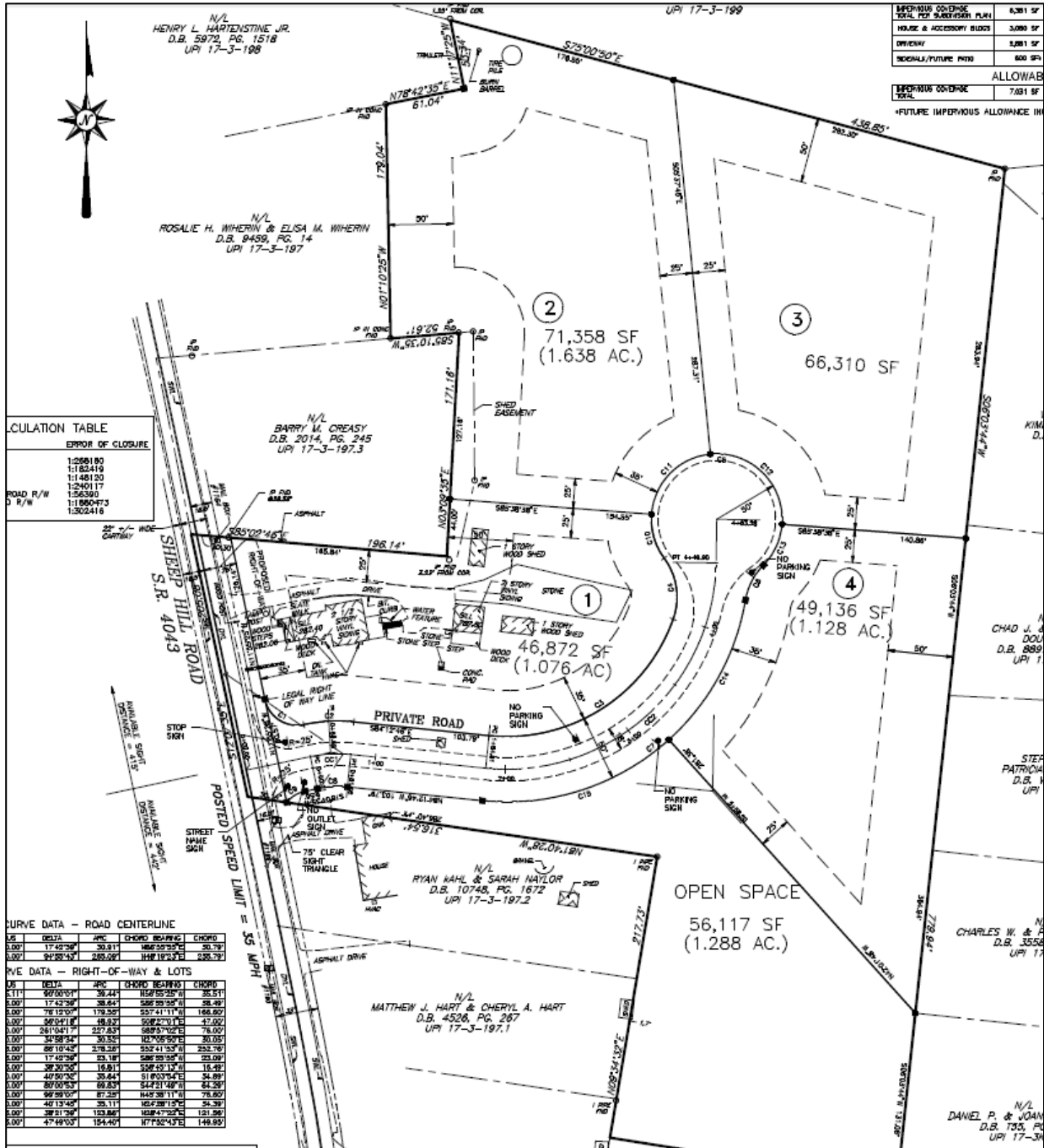


WATERSHEDS:

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Schuylkill River watershed. **Watersheds'** highest priority land use objectives within this watershed are:
 - implement comprehensive stormwater management,
 - restore water quality of "impaired" streams, and
 - protect vegetated riparian corridors.

Watersheds can be accessed at www.chesco.org/water.

- Land disturbance and land development activities that occur within Chester County must comply with the **County-wide Act 167 Stormwater Management Plan for Chester County, PA** (August 2022) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.



**Detail of Subdivision Plan for
 1174 Sheep Hill Road Pottstown PA 19465-James Treat**

PRIMARY ISSUES:

4. The site to the north of the applicant's parcel (UPI # 17-3-199) appears to be located in the North Coventry Township R-1 Residential zoning district, and is also within the **Suburban Landscape** designation of [Landscapes3](#). If that site is proposed for development in the future, it may require another cul-de-sac for access. Therefore, the Township should determine whether the applicant's proposed private road should be extended to the site to the north and end in a stub at the lot line, because this can result in a more efficient use of land and distribute vehicle traffic. The Township should also determine if the proposed private road should be constructed to Township standards.
5. A structure on UPU # 17-3-197.2 appears to extend onto the applicant's parcel. The applicant should adjust the proposed lot line to remove this intrusion.
6. The plan indicates that a Homeowners' Association (HOA) will be created. Ownership, maintenance, use provisions, restrictions, and liability responsibilities associated with any commonly held amenities should be written into the HOA document. The HOA document should include provisions which allow the Township to intervene and maintain common owned facilities, determine the schedule for Association formation, timing for construction of common facilities, and determine the schedule for transfer of ownership from developer to the HOA of common facilities. The HOA document should be submitted as part of the application to the municipality to be reviewed by an attorney versed in homeowners' association documents to evaluate the document for its completeness and compliance. Due to the small size of this subdivision, the Township should ensure that the HOA will be adequately capitalized and be able to preform all of its responsibilities in the future.
7. The configuration of the open space parcel will create an increasingly-narrow area as it nears Sheep Hill Road. The applicant should discuss how this area, as well as the stormwater basin on this lot, will be maintained, and how the remainder of the open space area will be utilized in the future.
8. The County Planning Commission's [Multimodal Circulation Handbook](#) (2016 Update), which is available online at www.chescoplanning.org/resources/PubsTransportation.cfm, classifies Sheep Hill Road (State Route 4043) as a local distributor road. The Handbook (page 183) recommends a 50 foot-wide right-of-way for local distributor roads to accommodate future road and infrastructure improvements, and the plan shows a 25-foot right-of-way on the east side of Sheep Hill Road. We suggest that this area be identified as a dedicated right-of-way, and that it be offered for dedication to PennDOT. A Pennsylvania Department of Transportation (PennDOT) permit is required for new or revised access and should be identified on the final plan as required by Section 508(6) of the Municipalities Planning Code.
9. We suggest that the applicant consider the use of shared driveways when possible. Shared driveways can reduce the number of new access points on roads, limit impervious coverage, reduce earth disturbance and lower construction costs.

ADMINISTRATIVE ISSUES:

10. The applicant should contact the office of the Chester County Conservation District (telephone #610-455-1360) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for discharge of stormwater from construction activities. Additional information on this topic is provided online at: <https://www.chesco.org/284/ErosionStormwater>.

Page: 5

Re: Preliminary Subdivision - 1174 Sheep Hill Road Pottstown PA 19465-James Treat
North Coventry Township - SD-08-23-17821

11. A minimum of five copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of North Coventry Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

A handwritten signature in cursive script that reads "Wes Bruckno".

Wes Bruckno, AICP
Senior Review Planner

cc: Edward B. Walsh & Associates, Inc.
James Treat
Chester County Health Department
Anthony Antonelli, District Permits Manager, PennDOT
Francis J. Hanney, PennDOT
Chester County Conservation District



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September 20, 2023

David Boelker, Director of Planning and Code Enforcement
Phoenixville Borough
351 Bridge Street
Phoenixville, PA 19460

Re: Preliminary/Final Land Development - Phoenix Crossing
Phoenixville Borough - LD-08-23-17815

Dear Mr. Boelker:

A Preliminary/Final Land Development Plan entitled "Phoenix Crossing", prepared by T&M Associates, and dated August 21, 2023, was received by this office on August 28, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed Land Development for your consideration.

PROJECT SUMMARY:

Location:	north side of Bridge Street, east of North Main Street
Site Acreage:	3.93
Lots/Units:	24
Non-Res. Square Footage:	5,059
Proposed Land Use:	Apartment, Retail
Municipal Land Use Plan Designation:	Mixed Use
UPI#:	15-9-157.1

PROPOSAL:

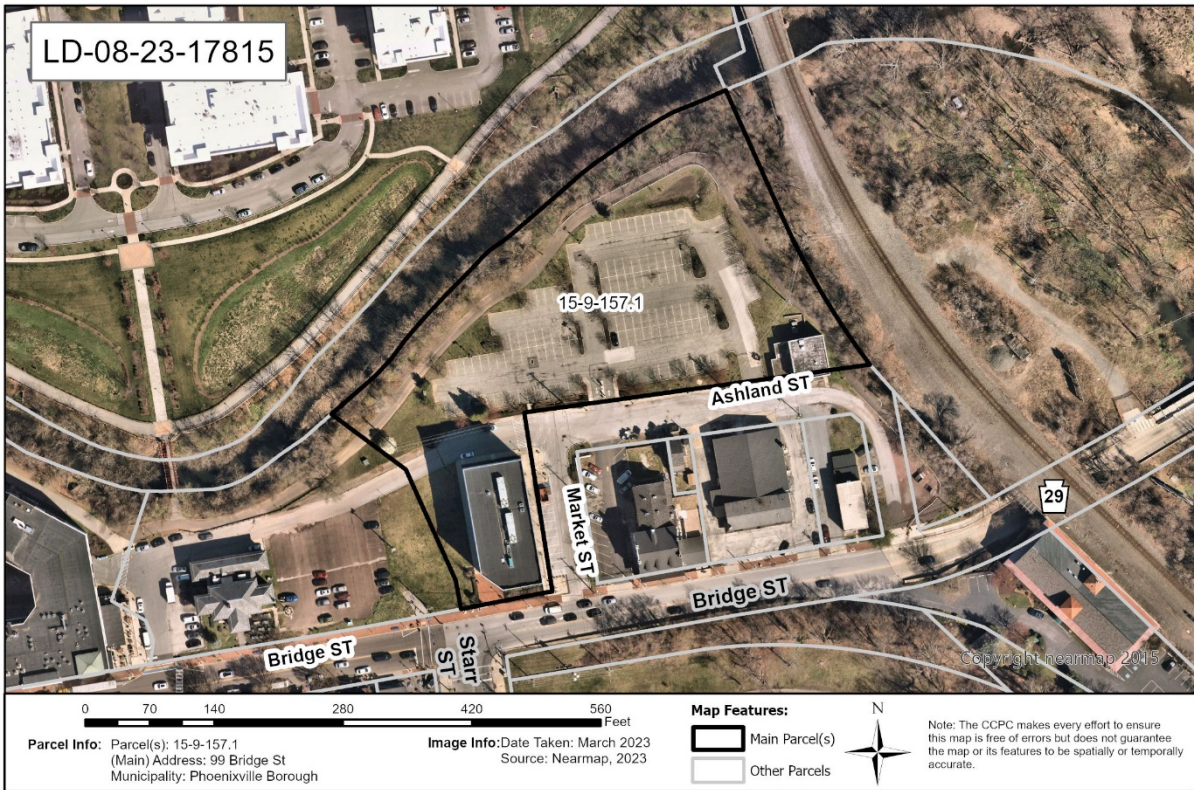
The applicant proposes the conversion of an existing bank/office building to a retail/residential building containing 23 apartment units and 5,000 square feet of retail space on the first floor. The project site, which is served by public water and sewer, is located in the MG-Mixed Use Growth zoning district.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all Borough issues should be resolved before action is taken on this land development plan.

COUNTY POLICY:

LANDSCAPES:

1. The project site is located within the **Urban Center Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Urban Center Landscape** is historic downtown and established neighborhoods serving as civic, economic, and population centers with a traditional town character, accommodating substantial future growth at a medium to high intensity. Adaptive reuse of an existing structure and the establishment of a mixed retail/residential use in this portion of the Borough are consistent with the objectives of the **Urban Center Landscape**.



WATERSHEDS:

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the French Creek subbasin of the Schuylkill River watershed. **Watersheds'** highest priority land use objectives within this watershed are: implementation of comprehensive stormwater management, protection of water quality from nonpoint source pollutants, and protection of vegetated riparian corridors. **Watersheds** can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

3. The bank building proposed for redevelopment is located on the same parcel where the Phoenixville train station and related development is proposed. This proposal has limited construction outside the existing building, including awnings over the building entrances and a proposed trash enclosure and

turn-around area on the north side of Ashland Street. We recommend that the Borough and the applicant ensure that redevelopment of this building is consistent with any planned future development associated with the train station and associated structures.

4. We understand that the Borough has plans to extend Starr Street north of Bridge Street to connect to Ashland Street. The applicant should dedicate the right-of-way for the street and potentially build the street if there is enough right-of-way. If there isn't, they should build a sidewalk on the side of the building where the street will eventually be constructed.



Detail of Sheet 3 of the plan

5. The building includes large roof areas that may offer opportunities to improve the facility's long-term sustainability and reduce its reliance on energy from the grid, such as designs that incorporate "green roofs," "white roofs" and solar photovoltaic energy systems. Green roofs can reduce a building's stormwater runoff, improve insulation, increase the longevity of the roof

Page: 4
Re: Preliminary/Final Land Development - Phoenix Crossing
Phoenixville Borough - LD-08-23-17815

system, and reduce heating and cooling costs. White roofs can help reflect solar radiation and also reduce cooling costs. Photovoltaic energy systems can improve the facility's long-term sustainability and reduce its reliance on energy from the grid. Additional information on green roofs is available at:

<https://www.chescoplanning.org/MuniCorner/eTools/05-GreenRoofs.cfm>.

Additional information on alternative energy systems such as photovoltaic systems is available at: <https://www.dvrpc.org/EnergyClimate/AEOWG/>.

ADMINISTRATIVE ISSUES:

6. The plan does not appear to address construction issues such as location of a staging area for: removal of demolition material, storage of new construction material, site office, security/safety fencing, a construction entrance etc.
7. We endorse the installation of electric vehicle charging stations as part of plan.
8. We note that the project is located within the HARB district in Phoenixville Borough.
9. The applicant should contact the office of the Chester County Conservation District (telephone #610-455-1360) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for discharge of stormwater from construction activities. Additional information on this topic is provided online at: <https://www.chesco.org/284/ErosionStormwater>.
10. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of Phoenixville Borough. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Glenn Bentley
Senior Review Planner

cc: Rockwell Phoenixville, LLC Attn: Andrew Kubovsak
T and M Associates
Anthony Antonelli, District Permits Manager, PennDOT
Francis J. Hanney, PennDOT
Chester County Conservation District



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(610) 344-6285 Fax (610) 344-6515

September 8, 2023

Kristin Camp, Township Solicitor
West Bradford Township
118 West Market Street
West Chester, PA 19382-2928

Re: Preliminary/Final Land Development - West Bradford Elementary School
West Bradford Township - LD-08-23-17811

Dear Ms. Camp:

A preliminary/final land development plan entitled "West Bradford Elementary School", prepared by Howell Engineering and dated July 18, 2023, was received by this office on August 25, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

PROJECT SUMMARY:

Location:	East side of Broad Run Road, north of Beacon Hill Road
Site Acreage:	21.12 acres
Lots:	1 lot
Non-Res. Square Footage:	16,010 square feet
Proposed Land Use:	School
New Parking Spaces:	No new spaces
Municipal Land Use Plan Designation:	Growth Opportunity Zone
UPI#:	50-4-19.6-E

PROPOSAL:

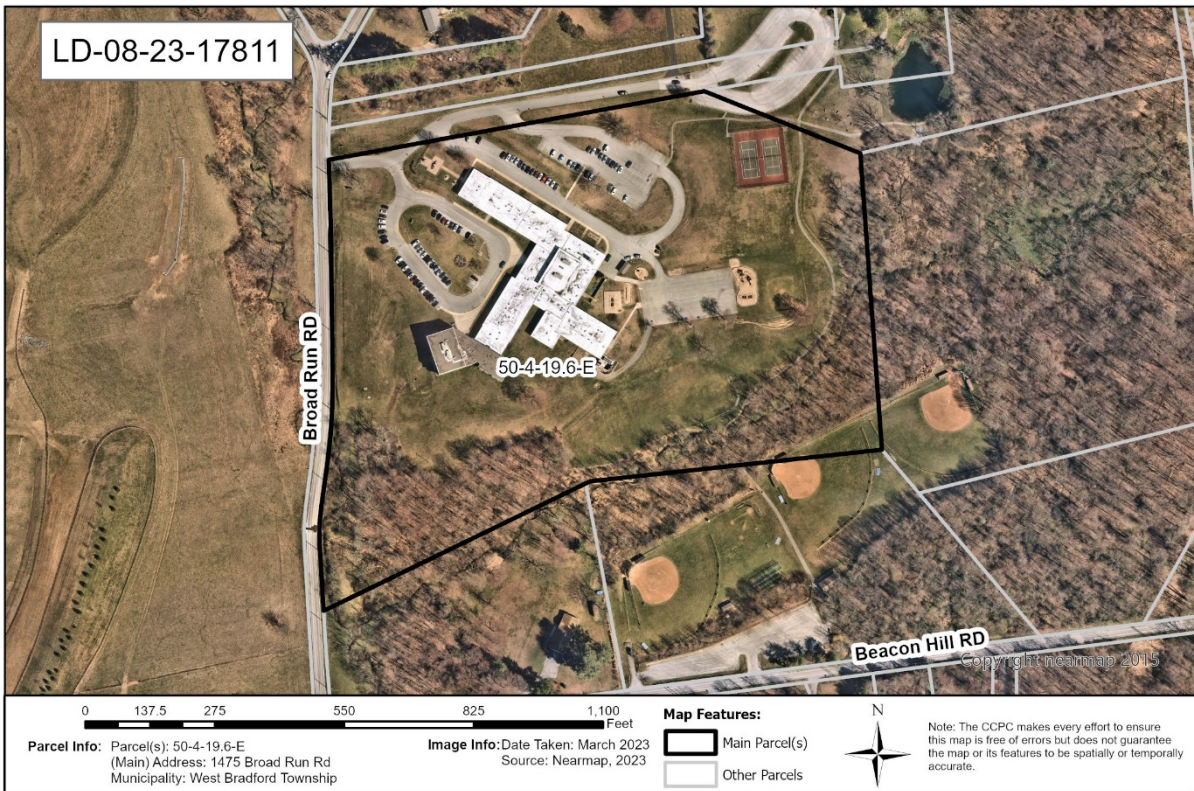
The applicant proposes the construction of additions totaling 16,010 square feet at the West Bradford Elementary School. A second driveway access is provided on Broad Run Road. The site, which is served by public water and public sewer facilities, is located in the West Bradford Township R-1 Residential zoning district.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all West Bradford Township issues should be resolved before action is taken on this land development plan.

COUNTY POLICY:

LANDSCAPES:

1. The site is located within the **Suburban Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Additionally, roads, sidewalks and paths with convenient access to parks and community facilities should be provided. The proposed land development is consistent with the objectives of the **Suburban Landscape**.

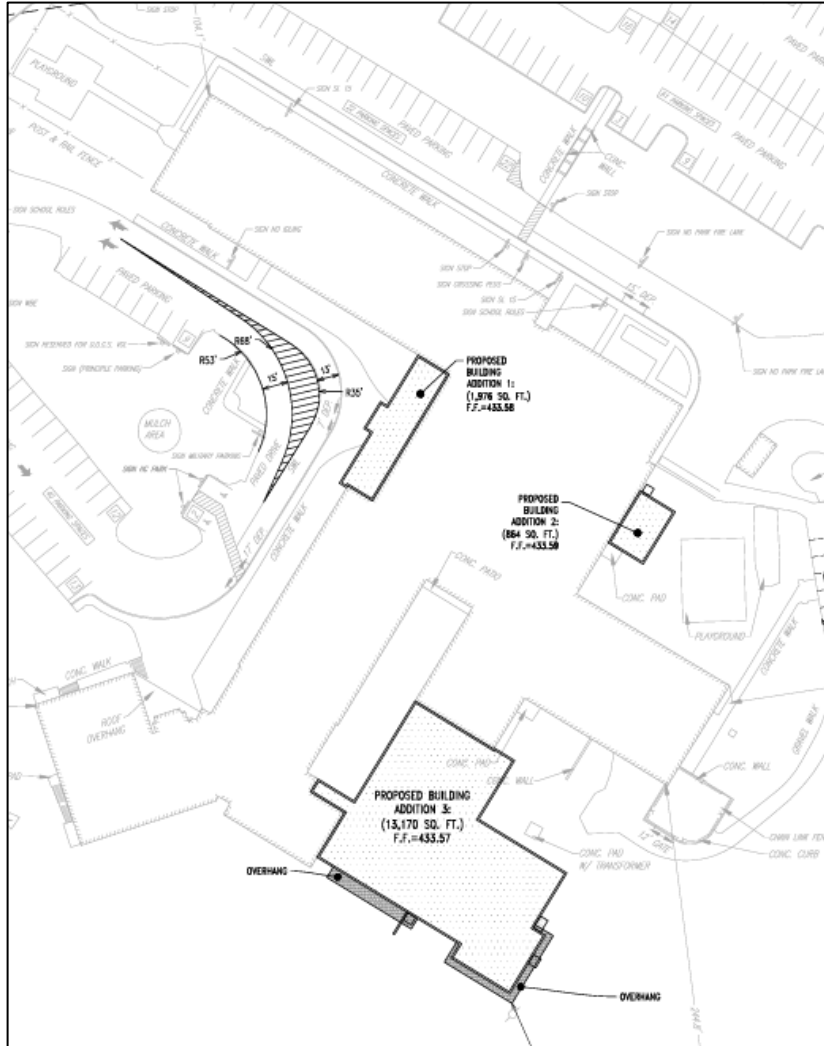


WATERSHEDS:

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Brandywine Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are:
 - reduce stormwater runoff,
 - restore water quality of "impaired" streams, and
 - protect vegetated riparian corridors.

Watersheds can be accessed at www.chesco.org/water.

3. Land disturbance and land development activities that occur within Chester County must comply with the ***County-wide Act 167 Stormwater Management Plan for Chester County, PA*** (August 2022) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.



***Detail of West Bradford Elementary School
Preliminary/Final Land Development Plan***

PRIMARY ISSUES:

4. The County Planning Commission endorses the use of innovative stormwater management practices such as the use of rain garden seed mix at the stormwater management basins. We encourage the applicant to use the stormwater management facilities at this site as educational resources for students and visitors by creating informational signage, and designing site-specific stormwater curriculum and projects that can be implemented in science classes. The Chester County Conservation District may be able to provide guidance with the funding and design of educational rain garden signage; we suggest that the Downingtown Area Joint Elementary School Authority contact the Conservation District regarding this opportunity.

Page: 4

Re: Preliminary/Final Land Development - West Bradford Elementary School

West Bradford Township - LD-08-23-17811

5. We suggest that additional landscaping and trees should be planted around the stormwater management basins and parking lots. Providing generous landscaped areas and trees in and around parking areas helps stormwater absorption and filtration, provides shading, and improves air quality.
6. It appears that the courtyard may become enclosed by the construction of the 13,170 square foot addition. The applicant should indicate how this area will be maintained after construction.

ADMINISTRATIVE ISSUES:

7. The applicant should contact the office of the Chester County Conservation District (telephone #610-455-1360) for information and clarification on erosion control measures. The provisions of the Commonwealth Erosion Control Regulations may apply to the project and may require an Earth Disturbance Permit or a National Pollutant Discharge Elimination System permit for discharge of stormwater from construction activities. Additional information on this topic is provided online at: <https://www.chesco.org/284/ErosionStormwater>.
8. A minimum of four copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of West Bradford Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Wes Bruckno, AICP
Senior Review Planner

cc: Downingtown Area Joint Elementary School Authority
Chester County Conservation District
Howell Engineering



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Josh Maxwell
Michelle Kichline

Brian N. O’Leary, AICP
Executive Director

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September 6, 2023

Kim Milane-Sauro, Assistant Township Manager
West Caln Township
721 West Kings Highway
Coatesville, PA 19320

Re: Preliminary/Final Subdivision - Robert Fisher
West Caln Township - SD-08-23-17804

Dear Ms. Milane-Sauro:

A preliminary/final subdivision plan entitled "Robert Fisher", prepared by Howell Engineering and dated June 22, 2023, was received by this office on August 17, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

PROJECT SUMMARY:

Location:	North of Creswell Road, at the end of Clydesdale Circle. The northern portion of the site is located in Salisbury Township, Lancaster County
Site Acreage:	4.93 acres
Lots:	2 lots
Proposed Land Use:	Single Family Residential
Municipal Land Use Plan Designation:	Low Density Rural Residential
UPI#:	28-4-218

PROPOSAL:

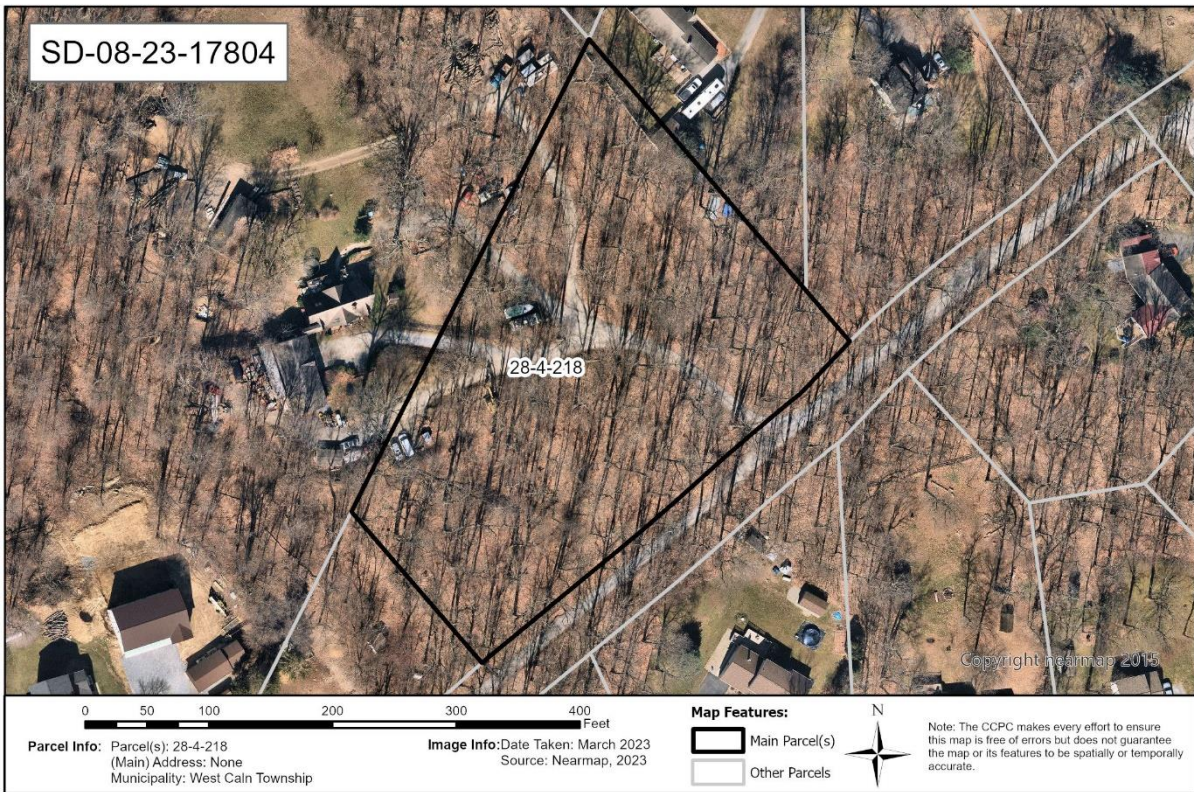
The applicant proposes the creation of two lots. The southern portion of the site, which will contain the proposed new lot, is served by on-site water and on-site sewer facilities and is located in the West Caln Township SSR -Site Responsive Residential zoning district. The northern portion of the site is located in the Salisbury Township (Lancaster County) A-Agricultural zoning district. The tract contains a dwelling and other structures, and this plan proposes no additional development. The plan was submitted to the Chester County Planning Commission by West Caln Township.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all West Caln Township issues should be resolved before action is taken on this subdivision plan.

COUNTY POLICY:

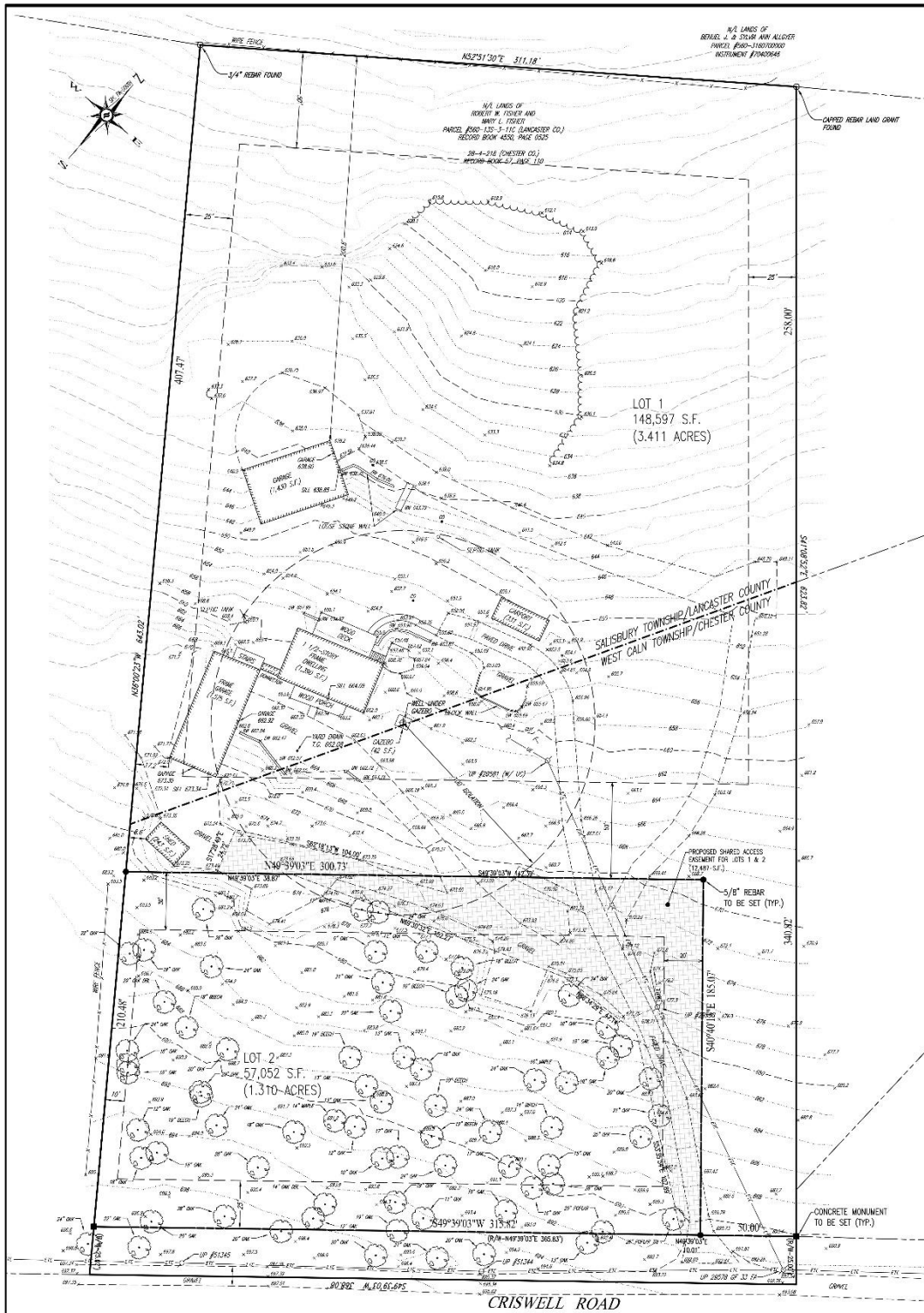
LANDSCAPES:

1. The site is located within the **Rural Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. This landscape consists of open and wooded lands with scattered villages, farms and residential uses. The vision for the **Rural Landscape** is the preservation of significant areas of open space, critical natural areas, and cultural resources with a limited amount of context sensitive development permitted to accommodate residential and farm needs. The proposed subdivision is consistent with the objectives of the **Rural Landscape**.



PRIMARY ISSUES:

2. Portions of the tract contain natural resources such as woodlands. If future development is proposed for this site, the applicant should stive to preserve as much of the wooded areas as possible. Mature trees and shrubs reduce the volume and impacts of stormwater runoff by intercepting precipitation, increasing evapotranspiration, and stabilizing soil through root growth. If development or earth disturbance is going to encroach upon existing woodlands, the removal of trees should be limited to the minimum area needed for the dwellings and buildings. The limits of tree removal should be clearly shown on the plan and “limits of disturbance” should be delineated to protect all trees that are intended to remain. Orange construction fencing should be placed at the “limit of disturbance” to prevent unintended intrusion into woodland areas by construction equipment. This fencing should be placed at the drip line of any trees that are intended to remain to limit inadvertent impacts from construction equipment to root zones and long-term tree health. Additional native trees and shrubs should be incorporated into the landscaping plans to replace and mitigate the loss of removed trees.



**Detail of Robert Fisher
Preliminary/Final Subdivision Plan**

Page: 4
Re: Preliminary/Final Subdivision - Robert Fisher
West Caln Township - SD-08-23-17804

ADMINISTRATIVE ISSUE:

3. A minimum of five copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of West Caln Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

A handwritten signature in cursive script that reads "Wes Bruckno".

Wes Bruckno, AICP
Senior Review Planner

cc: Howell Engineering
Robert Fisher
Chester County Health Department
Damian Clawser, Salisbury Township Zoning Officer



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Executive Director

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September 6, 2023

Kim Milane-Sauro, Assistant Township Manager
West Caln Township
721 West Kings Highway
Coatesville, PA 19320

Re: Final Subdivision - Leroy J. Lapp
West Caln Township - SD-08-23-17805

Dear Ms. Milane-Sauro:

A final subdivision plan entitled "Leroy J. Lapp", prepared by Strausser Engineering and dated April 6, 2023, was received by this office on August 18, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

PROJECT SUMMARY:

Location: East side of Octorara Trail (State Route 10), north of Beacon Road
Site Acreage: 18.93 acres
Lots: 1 lot proposed
Proposed Land Use: Agriculture
Municipal Land Use Plan Designation: Low Density Rural Residential
UPI#: 28-4-95

PROPOSAL:

The applicant proposes to merge six parcels into one lot. The plan proposes no development. The site is located in the West Caln Township RR-Rural Residential zoning district.

RECOMMENDATION: The County Planning Commission recommends that all West Caln Township issues should be resolved before action is taken on this subdivision plan.

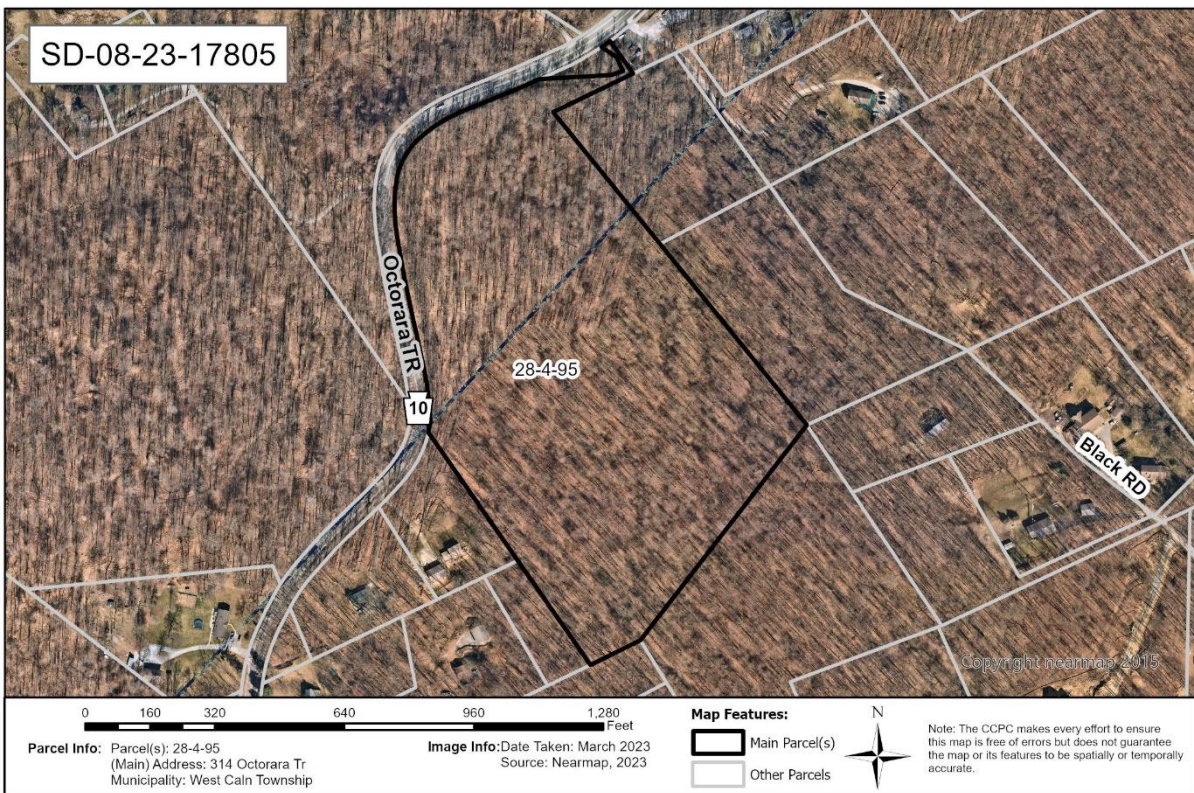
BACKGROUND:

The Chester County Planning Commission previously reviewed a subdivision plan for this site that proposed six lots with a cul-de-sac road, and our comments were forwarded to the Township in a letter dated May 12, 2011 (refer to CCPC # SD-4-11-3915). The West Caln Township Board of Supervisors approved the plan on May 19, 2013. The cul-de-sac road was not constructed and none of the lots were conveyed. The applicant now proposes to merge the six parcels into one lot.

COUNTY POLICY:

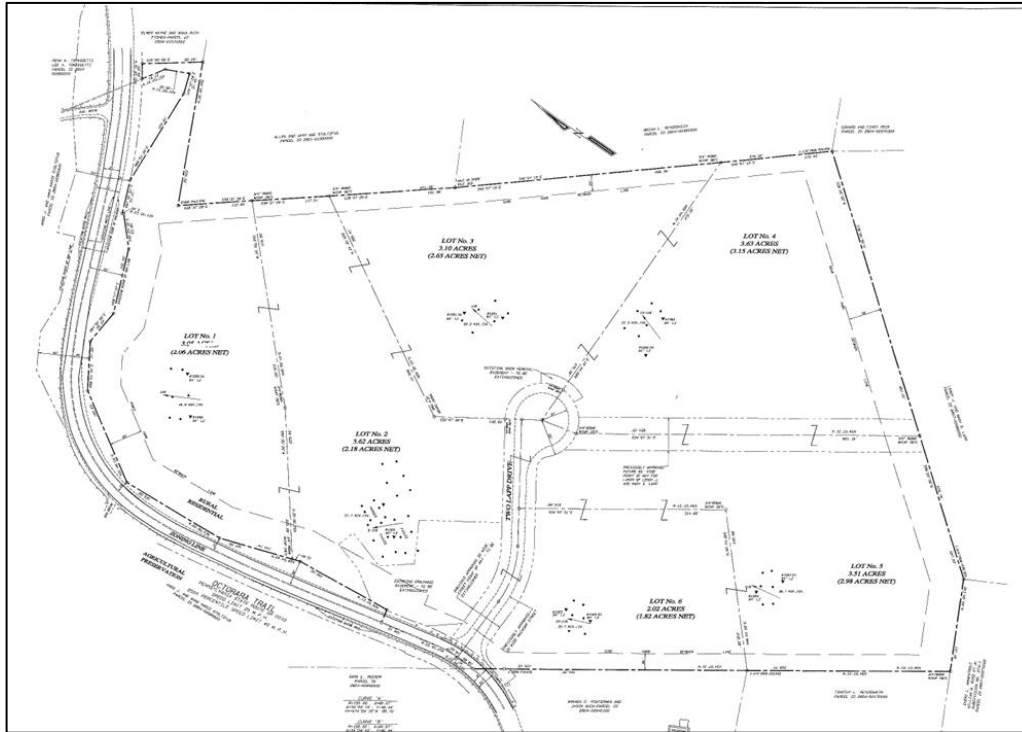
LANDSCAPES:

1. The site is located within the **Rural Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. This landscape consists of open and wooded lands with scattered villages, farms and residential uses. The vision for the **Rural Landscape** is the preservation of significant areas of open space, critical natural areas, and cultural resources with a limited amount of context sensitive development permitted to accommodate residential and farm needs. The proposed subdivision is consistent with the objectives of the **Rural Landscape**.



PRIMARY ISSUE:

2. Portions of the tract contain natural resources such as woodlands and steep slopes, and the tract is located in the West Caln Township Rural Residential zoning district, as well as in the **Rural Landscape** designation of [Landscapes3](#). Therefore, we suggest that the applicant consider deed-restricting this site from further development.



*Detail of Leroy J. Lapp
Final Subdivision Plan*

ADMINISTRATIVE ISSUE:

3. A minimum of five copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of West Caln Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

Wes Bruckno, AICP
Senior Review Planner

cc: Leroy J. Lapp
Strausser Engineering
Chester County Health Department



THE COUNTY OF CHESTER



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West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

September 15, 2023

Kevin Gore, Director of Building, Housing & Codes Enforcement
West Chester Borough
401 E. Gay Street
West Chester, PA 19380

Re: Preliminary/Final Subdivision and Land Development - Barclay Park LLC
West Chester Borough – SD-08-23-17809 and LD-08-23-17810

Dear Mr. Gore:

A Preliminary/Final Subdivision and Land Development Plan entitled "Barclay Park LLC", prepared by Inland Design, and dated August 2, 2023, was received by this office on August 21, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision and land development for your consideration.

PROJECT SUMMARY:

Location:	south side of West Gay Street, east of North New Street
Site Acreage:	0.27
Lots/Units:	2 existing lots; 1 proposed lot
Non-Res. Square Footage:	2,304
Proposed Land Use:	Addition to existing commercial office building
New Parking Spaces:	0
Municipal Land Use Plan Designation:	Town Center
UPI#:	1-8-436.1, 1-8-436

PROPOSAL:

The applicant proposes the consolidation of two existing parcels into one parcel, along with the construction of a three-story building addition. The project site, which is served by public water and public sewer, is located in the TC Town Center and HO-60 Height Option Overlay zoning districts.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed, and all Borough issues should be resolved before action is taken on this subdivision and land development plan.

COUNTY POLICY:

LANDSCAPES:

1. The project site is located within the **Urban Center Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Urban Center Landscape** is historic downtown and established neighborhoods serving as civic, economic, and population centers with a traditional town character, accommodating substantial future growth at a medium to high intensity. The plan submission is consistent with the objectives of the **Urban Center Landscape**.

WATERSHEDS:

2. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Brandywine Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, restore water quality of "impaired" streams, and protect vegetated riparian corridors. **Watersheds** can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

3. Map 2: Historic Resources Inventory in the Borough's 2011 Historic Preservation Plan indicates that the project site and the adjoining parcels to the east and to the west, which are located within the Borough's Downtown Historic District, contain historic resources. The applicant and Borough should ensure that the design of the proposed development respects the design, materials and massing of these historic resources. "Appreciate" Objective A of [Landscapes3](#), the 2018 County Comprehensive Plan, is to preserve historic resources in their context while supporting appropriate reuse as a vital part of our community infrastructure and character.
4. The Borough should verify that the design of the proposed outdoor lighting plan, as shown on Sheet 9, conforms to Borough ordinance requirements. The illumination should be directed inward from the periphery of the site and be oriented to reduce glare and visual impact on the adjoining roadways and land uses.

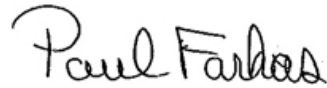
ADMINISTRATIVE ISSUES:

5. Land disturbance and land development activities that occur within Chester County must comply with the **County-wide Act 167 Stormwater Management Plan for Chester County, PA** (August 2022) and the associated Act 167 stormwater management ordinance standards adopted by each municipality.
6. The Waiver Requested table on Sheet 1 indicates that the applicant is requesting one waiver from the procedural standards set forth in Article III of the provisions of the Borough Subdivision and Land Development Ordinance. Waiver requests should only be granted following the determination that the proposed project either meets the purpose of these requirements or does not create the impacts that these provisions are intended to manage.
7. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

Page: 4
Re: Preliminary/Final Subdivision and Land Development - Barclay Park LLC
West Chester Borough – SD-08-23-17809 and LD-08-23-17810

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of West Chester Borough. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

A handwritten signature in black ink that reads "Paul Farkas". The signature is written in a cursive, slightly slanted style.

Paul Farkas
Senior Review Planner

cc: Barclay Park LLC
Inland Design



THE COUNTY OF CHESTER



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Brian N. O’Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
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September 15, 2023

Christopher Bashore, Manager
West Goshen Township
1025 Paoli Pike
West Chester, PA 19380

Re: Preliminary/Final Land Development - 820 E. Washington St. Automobile Repair Facility
West Goshen Township – LD-08-23-17826

Dear Mr. Bashore:

A Preliminary/Final Land Development Plan entitled "820 E. Washington St. Automobile Repair Facility", prepared by T & M Associates, and dated March 4, 2022, and last revised on June 21, 2023, was received by this office on September 1, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed land development for your consideration.

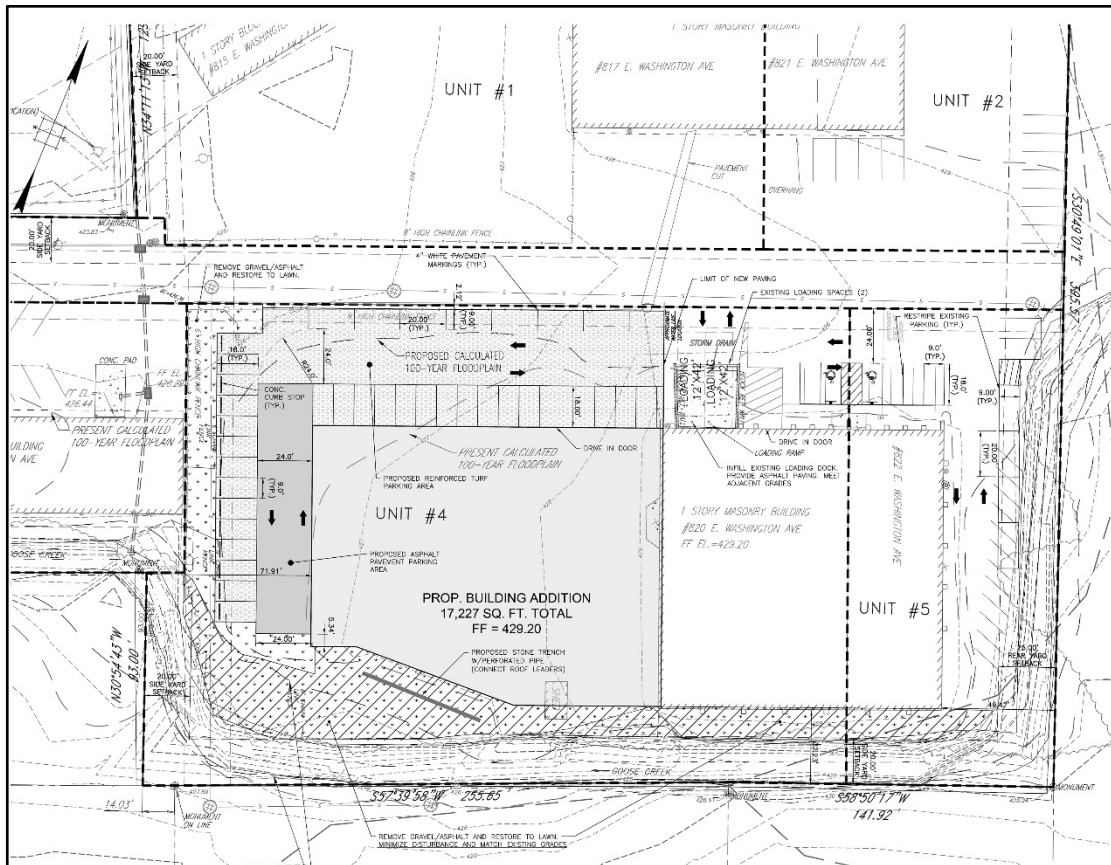
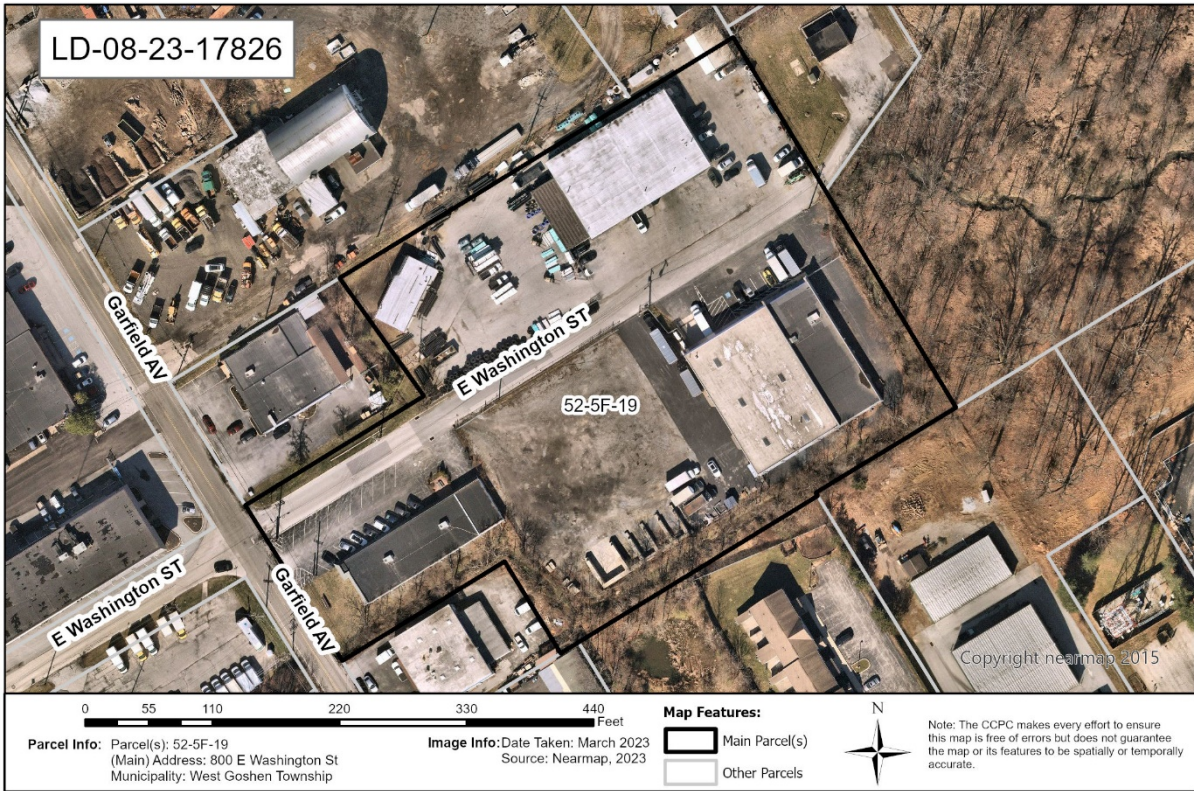
PROJECT SUMMARY:

Location:	southeast corner of Garfield Avenue and East Washington Street
Site Acreage:	UPI# 52-5F-19 - 4.22 acres
Lots/Units:	1 lot
Non-Res. Square Footage:	17,227
Proposed Land Use:	Addition to existing building
New Parking Spaces:	50
Municipal Land Use Plan Designation:	Commercial, Office, Industrial Infill
UPI#:	52-5F-19.6, 52-5F-19.7 (condominium units located within UPI# 52-5F-19)

PROPOSAL:

The applicant proposes the construction of a 17,227 square foot expansion of an existing building, for a new automobile body repair and paint shop. No new sewage disposal or water supply is proposed by this development. The project site is located in the I-3 General Industrial zoning district.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed, and all Township issues should be resolved before action is taken on this land development plan.



Site Plan Detail, Sheet 5: 820 E Washington St. Automobile Repair Facility

BACKGROUND:

1. The Special Exception Order on Sheet 5 indicates that, on January 23, 2023, the Township Zoning Hearing Board granted a special exemption pursuant to Section 84-90.9.F(1) of the Township Zoning Ordinance to permit permeable parking areas in existing and proposed floodplains, along with a special exemption to Section 84-90.9.F(6) to permit grading in existing and proposed floodplains.

COUNTY POLICY:

LANDSCAPES:

2. The project site is located within the **Suburban Center Landscape, Urban Center Landscape, and Natural Landscape** designations of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Center Landscape** is regional economic, population and transportation centers with varying land uses, accommodating substantial future growth of medium to high intensity. The vision for the **Urban Center Landscape** is historic downtown and established neighborhoods serving as civic, economic, and population centers with a traditional town character, accommodating substantial future growth at a medium to high intensity. As an overlay of all other landscapes, the county's **Natural Landscapes** consist of a network of streams, wetlands, floodplains, and forests that are protected by regulations or should be subject to limited disturbance. Conservation practices should protect and restore these natural resources. While the proposed development activity is appropriately located in the **Suburban Center** and **Urban Center Landscape** designations, careful consideration of the proposed development activity is required due to the 100-year floodplain associated with Goose Creek, which traverses the southern portion of the project site.

WATERSHEDS:

3. **Watersheds**, the water resources component of [Landscapes3](#), indicates the proposed development is located within the Goose Creek subbasin of the Chester Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, restore water quality of "impaired" streams, and protect vegetated riparian corridors. **Watersheds** can be accessed at www.chesco.org/water.

PRIMARY ISSUES:

4. The site contains land within the 100 year floodplain, and we note that the site plan depicts the proposed calculated 100-year floodplain boundary. The Township engineer should review the applicant's calculated floodplain boundary findings. The Federal Emergency Management Agency and Pennsylvania Department of Environmental Protection regulate filling or development in the floodplain. Development within a floodplain can increase the magnitude and frequency of normally minor floods, and present health and safety problems. The Township should request documentation of any permit(s) required for this project before approving the plan.
5. Land disturbance and land development activities that occur within Chester County must comply with the **County-wide Act 167 Stormwater Management Plan for Chester County, PA** (August 2022) and the associated Act 167 stormwater management ordinance standards adopted by each municipality. We note that the Post Construction Stormwater Management Plan (Sheet 9) indicates that the proposed BMPs include landscape restoration and riparian buffer restoration areas.

Page: 4
Re: Preliminary/Final Land Development - 820 E Washington St. Automobile Repair Facility
West Goshen Township – LD-08-23-17826

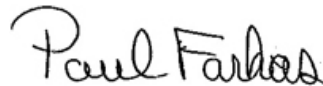
6. We endorse the applicant's use of permeable reinforced turf as an alternative to traditional parking lot paving materials, especially given the immediate proximity to Goose Creek. Site operations and maintenance plans should include regular inspections to assess the ongoing infiltration of water through the turf system, with strategies to address any compaction or other functional issues in accordance with the system manufacturer's specifications.
7. We recommend that no automotive repair activities of any kind take place in the permeable parking lot, in order to avoid potential infiltration of contaminants from spills, leaks, or particulate debris.
8. We recommend that no automotive parts, paints, oils/greases, or chemicals be stored within the proposed (or existing) floodplain boundary. Additionally, for anything temporarily stored in that area, we recommend that the property owner develop and maintain a strategy to move materials out of the floodplain ahead of storm events to minimize the potential for property damage and contaminant release.

ADMINISTRATIVE ISSUES:

9. A minimum of four (4) copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds and the Assessment Office.

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of West Goshen Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,



Paul Farkas
Senior Review Planner

cc: Rockhill Real Estate Enterprises XVII LP
T & M Associates
Chester County Water Resources Authority



THE COUNTY OF CHESTER



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Josh Maxwell
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Brian N. O'Leary, AICP
Executive Director

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(610) 344-6285 Fax (610) 344-6515

September 22, 2023

Patti Piersol, Administrative Assistant
West Sadsbury Township
6400 Moscow Road
Parkesburg, PA 19365

Re: Preliminary/Final Subdivision - Eli K. and Rebecca M. Lapp Lot Add-On
West Sadsbury Township - SD-08-23-17829

Dear Ms. Piersol:

A preliminary/final subdivision plan entitled "Eli K. and Rebecca M. Lapp Lot Add-On", prepared by Snyder Surveying and dated May 4, 2023, was received by this office on August 31, 2023. This plan is reviewed by the Chester County Planning Commission in accord with the provisions of Section 502 of the Pennsylvania Municipalities Planning Code. We offer the following comments on the proposed subdivision for your consideration.

PROJECT SUMMARY:

Location:	Eastern end of Windmill Road
Site Acreage:	5.67 acres
Lots:	2 lots
Proposed Land Use:	Residential
Municipal Land Use Plan Designation:	Rural
UPI#:	36-3-30, 36-2-25

PROPOSAL:

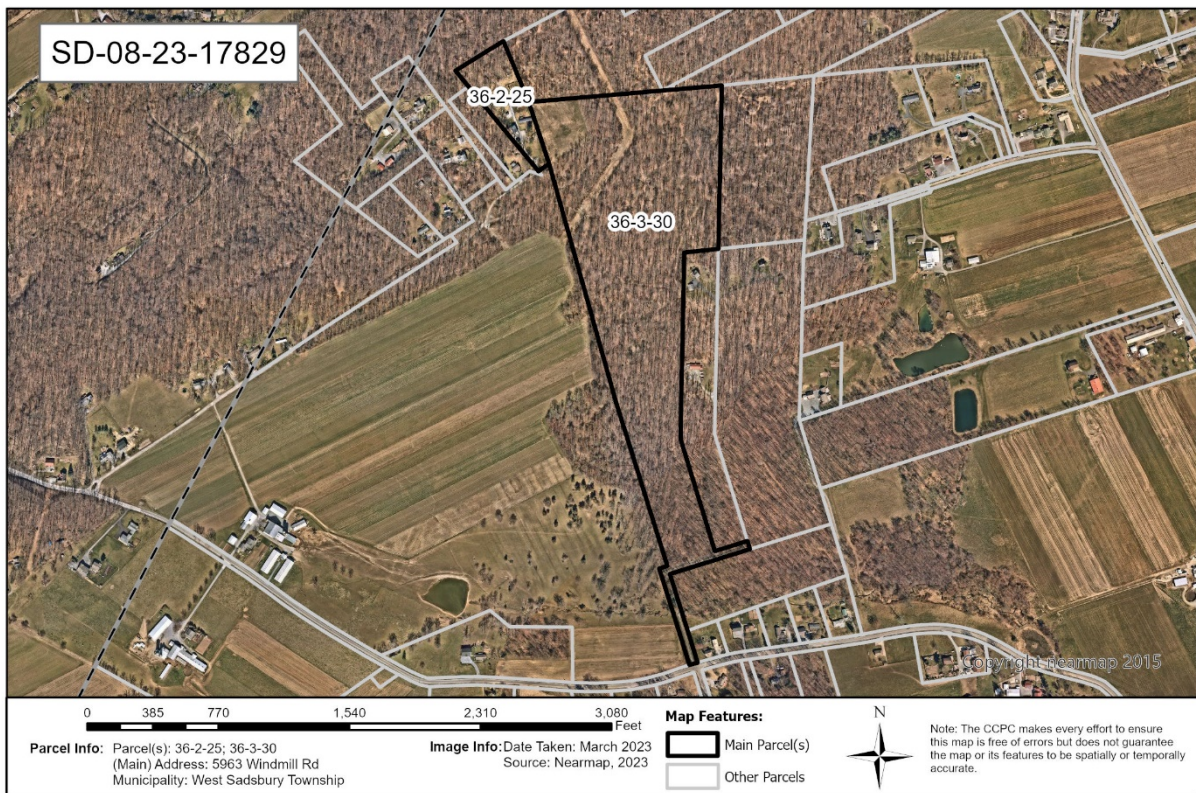
The applicant proposes to add a two-acre parcel from a 39.523-acre tract to an adjacent 3.666 acre lot. The site, which is served by on-site water and sewer facilities, is located in the West Sadsbury Township RU-Rural zoning district. The 3.666-acre lot contains a dwelling and other structures, and no additional development is proposed by this subdivision.

RECOMMENDATION: The County Planning Commission recommends that the issues raised in this letter should be addressed and all West Sadsbury Township issues should be resolved before action is taken on this subdivision plan.

COUNTY POLICY:

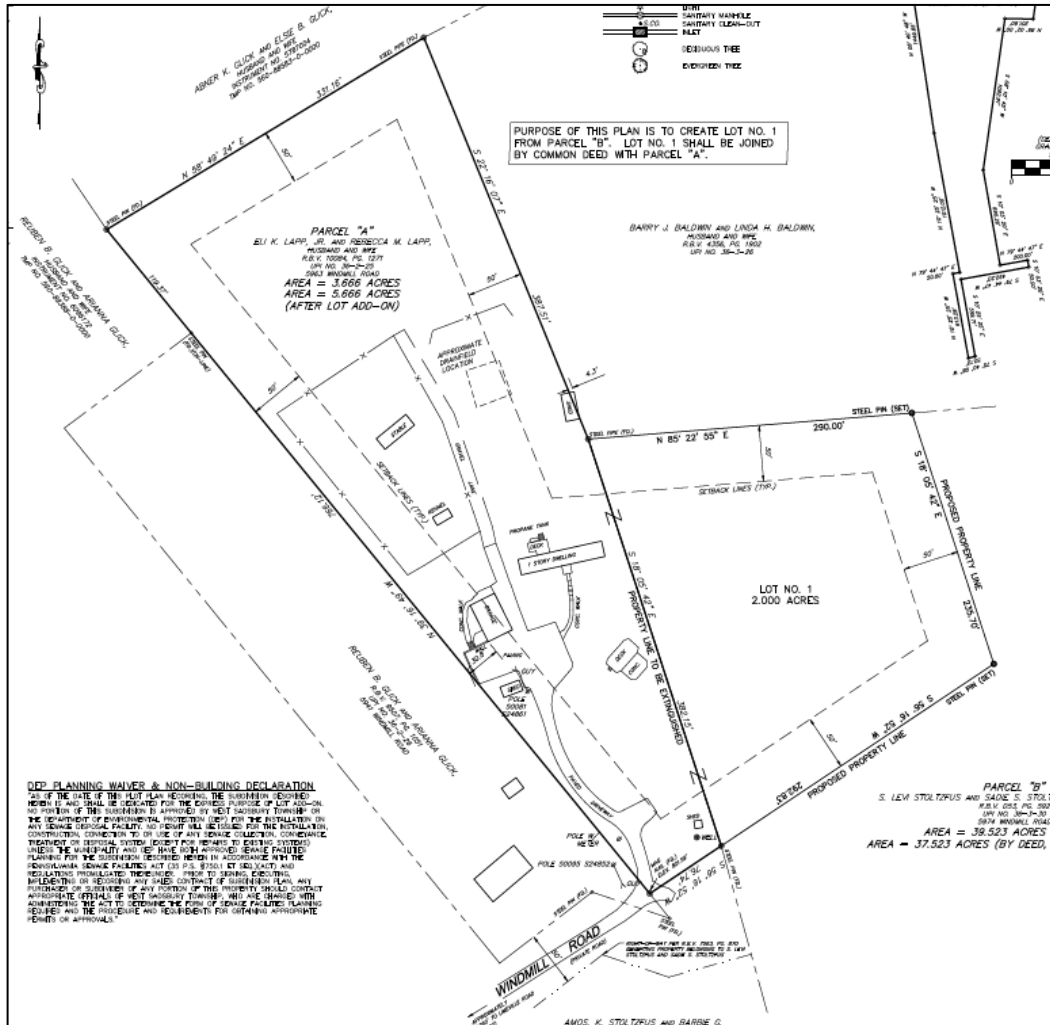
LANDSCAPES:

1. The site is located within the **Rural Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. This landscape consists of open and wooded lands with scattered villages, farms and residential uses. The vision for the **Rural Landscape** is the preservation of significant areas of open space, critical natural areas, and cultural resources with a limited amount of context sensitive development permitted to accommodate residential and farm needs. The proposed subdivision is consistent with the objectives of the **Rural Landscape**.



PRIMARY ISSUE:

2. If development is being considered for the remainder of this site, we encourage the applicant to submit a sketch plan for any future development. A sketch plan allows the applicant to take advantage of County and municipal expertise and consider design recommendations prior to preparing a fully engineered preliminary or final plan. Alternatively, we suggest that the applicant consider deed-restricting this site from further development.



**Detail of Eli K. and Rebecca M. Lapp Lot Add-On
 Preliminary/Final Subdivision Plan**

ADMINISTRATIVE ISSUE:

3. A minimum of five copies of the plan should be presented at the Chester County Planning Commission for endorsement to permit recording of the final plan in accord with the procedures of Act 247, the Pennsylvania Municipalities Planning Code, and to meet the requirements of the Recorder of Deeds, the Assessment Office, and the Health Department.

Page: 4

Re: Preliminary/Final Subdivision - Eli K. and Rebecca M. Lapp Lot Add-On

West Sadsbury Township - SD-08-23-17829

This report does not review the plan for compliance to all aspects of your ordinance, as this is more appropriately done by agents of West Sadsbury Township. However, we appreciate the opportunity to review and comment on this plan. The staff of the Chester County Planning Commission is available to you to discuss this and other matters in more detail.

Sincerely,

A handwritten signature in cursive script that reads "Wes Bruckno".

Wes Bruckno, AICP
Senior Review Planner

cc: Snyder Surveying
Eli K. Lapp, Jr.
Chester County Health Department

Proposed Plan and Ordinance Reviews





ORDINANCE PROPOSALS

9/1/2023 to 9/30/2023

The staff reviewed proposals for:

	Total
Subdivision and Land Development Ordinance (SLDO) Amendments	1
Zoning Map Amendments	1
Zoning Ordinance Amendments	3
TOTAL REVIEWS	5

MUNICIPALITY	FILE NO.	REVIEW DATE	TOPIC	LANDSCAPES3 CONSISTENCY
Phoenixville Borough	SA-09-23-17832	9/28/2023	<p>Proposed - SLDO Amendment</p> <p>The proposed SLDO amendment clarifies and expands how amendments to approved final plans. The Borough Engineer will review and approve these amendments (if appropriate). All amendments shall be shown on As-Built plans and may be required to be recorded.</p>	Consistent
Pocopson Township	ZA-09-23-17843	9/28/2023	<p>Proposed - Zoning Ordinance Amendment</p> <p>The proposed amendment related to the area and bulk provisions in the RA-Residential and Agricultural zoning district, and specifically lots previously approved under PRD or cluster provisions. The amendment clarifies the existing language permitting development to use the area and bulk standards under which they were approved. Construction will follow the current standards and no further subdivision of the lot is permitted.</p>	Not Relevant
West Brandywine Township	ZA-08-23-17790	9/5/2023	<p>Proposed - Zoning Ordinance Amendment</p> <p>Uses and standards for alcohol use and consumption, medical marijuana, new General Commercial Overlay District for the Route 322 area to increase economic development re: the 2019 Comp Plan.</p>	Consistent
West Whiteland Township	ZA-08-23-17794	9/1/2023	<p>Proposed - Zoning Ordinance Amendment</p> <p>The Township has received a zoning amendment petition to add "Large tract residential cluster option" to the list of uses permitted in the R-1 Residential District, in accordance with the proposed standards set forth in Section 325-9.C(10)(c).</p>	Consistent

MUNICIPALITY	FILE NO.	REVIEW DATE	TOPIC	LANDSCAPES3 CONSISTENCY
West Whiteland Township	ZM-08-23-17795	9/1/2023	Proposed - Zoning Map Amendment The Township has received a petition to change the zoning designation of nine parcels situated on the south side of King Road and the east side of Route 202 from O/L Office/Laboratory to R-1 Residential.	Consistent

TOTAL NUMBER OF ORDINANCE PROPOSALS WITH RELEVANCE TO LANDSCAPES3: 4
TOTAL NUMBER OF ORDINANCE PROPOSALS CONSISTENT WITH LANDSCAPES3: 4

Ordinance Review Letters





THE COUNTY OF CHESTER



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Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
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601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

September 28, 2023

David Boelker, Director of Planning and Code Enforcement
Phoenixville Borough
351 Bridge Street
Phoenixville, PA 19460

Re: Subdivision and Land Development Ordinance Amendment – Amending approved and recorded plans.
Phoenixville Borough - SA-09-23-17832

Dear Mr. Boelker

The Chester County Planning Commission has reviewed the proposed Subdivision and Land Development Ordinance Amendment as submitted pursuant to the provisions of the Pennsylvania Municipalities Planning Code, Section 505(a). The referral for review was received by this office on September 6, 2023. We offer the following comments to assist in your review of the proposed Subdivision and Land Development Ordinance Amendment.

DESCRIPTION:

1. Phoenixville Borough proposes the following amendment to its Subdivision and Land Development Ordinance:
 - A. The proposed amendment to Section 22-306 .3 addresses amendments to plans that have been approved as well as plans that have been recorded. Such amendments do not result in substantive changes to the use, layout or function of the proposed development. The proposed language clarifies the role of the Borough Engineer, which includes receiving, reviewing and in the case of minor amendments approving plan amendments. All amendments approved during construction will be shown in the “as-built plan” and may be required to be recorded if so indicated by the Borough Engineer. The amendment removes existing language addressing “field changes” in the final sentence of the subsection.

COMMENTS:

2. We suggest that all approved and recorded plans submitted for plan amendment to the Borough Engineer, should also be recorded with notes explaining the scope of the amendment, so that a complete record of the project will be available at the County Recorder of Deeds.

Page: 2

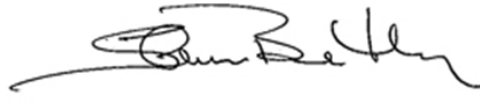
Re: Subdivision and Land Development Ordinance Amendment – Amending approved and recorded plans.

Phoenixville Borough - SA-09-23-17832

RECOMMENDATION: The Commission recommends that the issue raised in this letter be addressed before action is taken on this proposed Subdivision and Land Development Ordinance amendment.

We request an official copy of the decision made by Borough Council, as required by Section 505(b) of the Pennsylvania Municipalities Planning Code. This will allow us to maintain a current file copy of your ordinance.

Sincerely,

A handwritten signature in black ink, appearing to read "Glenn Bentley", with a long horizontal flourish extending to the left.

Glenn Bentley
Senior Review Planner



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
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(610) 344-6285 Fax (610) 344-6515

September 28, 2023

Susan Simone, Secretary
Pocopson Township
664 S. Wawaset Road
West Chester, PA 19382

Re: Zoning Ordinance Amendment – Existing lots in the R-A zoning district
Pocopson Township - ZA-09-23-17843

Dear Ms. Simone:

The Chester County Planning Commission has reviewed the proposed Zoning Ordinance Amendment as submitted pursuant to the provisions of the Pennsylvania Municipalities Planning Code, Section 609(e). The referral for review was received by this office on September 13, 2023. We offer the following comments to assist in your review of the proposed Zoning Ordinance Amendment.

DESCRIPTION:

1. The Township proposes the following amendments to its Zoning Ordinance:
 - a: The proposed amendment is related to the area and bulk provisions in the RA-Residential and Agricultural zoning district, and specifically lots previously approved under PRD or cluster provisions. The amendment clarifies the existing language permitting development to use the area and bulk standards under which they were approved. Construction will follow the current standards and no further subdivision of the lot is permitted. The subsections following this revision are recodified.

COMMENTS:

2. The proposed language clarifies the Township's position with regard to this issue.

RECOMMENDATION: The County Planning Commission supports the adoption of the proposed zoning amendment.

We request an official copy of the decision made by the Township Supervisors, as required by Section 609(g) of the Pennsylvania Municipalities Planning Code. This will allow us to maintain a current file copy of your ordinance.

Sincerely,

Glenn Bentley
Senior Review Planner



THE COUNTY OF CHESTER



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Brian N. O'Leary, AICP
Executive Director

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September 5, 2023

Dale Burnett, Manager
West Brandywine Township
198 Lafayette Road
Coatesville, PA 19320

Re: Zoning Ordinance Amendment - Alcohol Use and Consumption, Medical Marijuana, General Commercial Overlay District, etc.
West Brandywine Township - ZA-08-23-17790

Dear Mr. Burnett:

The Chester County Planning Commission has reviewed the proposed West Brandywine Township Zoning Ordinance amendment as submitted pursuant to the provisions of the Pennsylvania Municipalities Planning Code, Section 609(e). The referral for review was received by this office on August 7, 2023. We offer the following comments to assist in your review of the proposed Zoning Ordinance amendment.

DESCRIPTION:

1. West Brandywine Township proposes the following amendments to its Zoning Ordinance:
 - A. The amendments generally include: Land uses and standards for alcohol use and consumption, medical marijuana regulations, and a new General Commercial Overlay District intended to increase economic development (as proposed in the West Brandywine Township 2019 Comprehensive Plan).
 - B. The following definitions are added: Academic clinical research center, Brewery or distillery, Convenience store, Event space, Food stand, Live-work unit, Medical marijuana, Medical marijuana grower/processor, Medical marijuana delivery vehicle office, Medical marijuana, Planned commercial development, Planned mixed-use Public tasting, Public sewer service, Restaurant, Tasting room, Tavern, Treatment center, Vineyard, and Winery.
 - C. Purpose statements and use regulations in the R-1 Agricultural/Residential District, the RM Rural Mixed Use District, the RM Rural Mixed Use District, the LI Limited Industrial District, the MSI Medical Service- Institutional District are revised, as well as other land uses (some of which are by-right uses and others are regulated by conditional use). The LI Limited Industrial District will also permit planned commercial developments.
 - D. The new General Commercial Overlay District will include a broad mix of retail, commercial and live-work land uses, design and performance standards.

Page: 2

Re: Zoning Ordinance Amendment - Alcohol Use and Consumption, Medical Marijuana, General Commercial Overlay District, etc.

West Brandywine Township - ZA-08-23-17790

BACKGROUND:

2. The Chester County Planning Commission reviewed a previous version of this proposed amendment, and our comments were forwarded to the Township in a letter dated August 1, 2022 (refer to CCPC # ZA-07-22-17266). The Planning Commission then received a subsequent update of this amendment on January 30, 2023, and our comments on that version were forwarded to the Township in a letter dated March 6, 2023 (refer to CCPC # ZA- ZA-01-23-17543). The current version includes clarifications, corrections to internal Zoning Ordinance sections, and minor changes.

We commend the Township for implementing the recommendations in the West Brandywine Township 2019 Comprehensive Plan, and we have no further significant comments on the proposed amendment.

COMMENT:

3. We have no additional significant comments on the proposed zoning ordinance amendment. However, we note that a proposed amendment to the conditional uses in the General Commercial Overlay District removes a requirement that convenience stores must meet the general standards of Article XIV, Section 200-100.4, which relate to drive-thru service. The Township's current regulations on drive-thru service appear to be appropriate and can improve safety at these facilities (although the limit on only one point of ingress and egress may be too limiting). The Township should ensure that convenience stores with drive-thru service are adequately regulated regarding access, safety, screening, lighting, and other matters.

RECOMMENDATION: The County Planning Commission supports the adoption of the proposed zoning ordinance amendment.

We request an official copy of the decision made by the West Brandywine Township Supervisors, as required by Section 609(g) of the Pennsylvania Municipalities Planning Code. This will allow us to maintain a current file copy of your ordinance.

Sincerely,



Wes Bruckno, AICP
Senior Review Planner



THE COUNTY OF CHESTER



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Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
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(610) 344-6285 Fax (610) 344-6515

September 1, 2023

John R. Weller, AICP, Director of Planning & Zoning
West Whiteland Township
101 Commerce Drive
Exton, PA 19341

Re: Zoning Ordinance Amendment - Large Tract Residential Cluster Option, R-1 Residential District;
and Zoning Map Amendment – R-1 Residential District
West Whiteland Township – ZA-08-23-17794 and ZM-08-23-17795

Dear Mr. Weller:

The Chester County Planning Commission has reviewed the proposed Zoning Ordinance and Zoning Map Amendments as submitted pursuant to the provisions of the Pennsylvania Municipalities Planning Code, Section 609(e). The referral for review was received by this office on August 9, 2023. We offer the following comments to assist in your review of the proposed amendments.

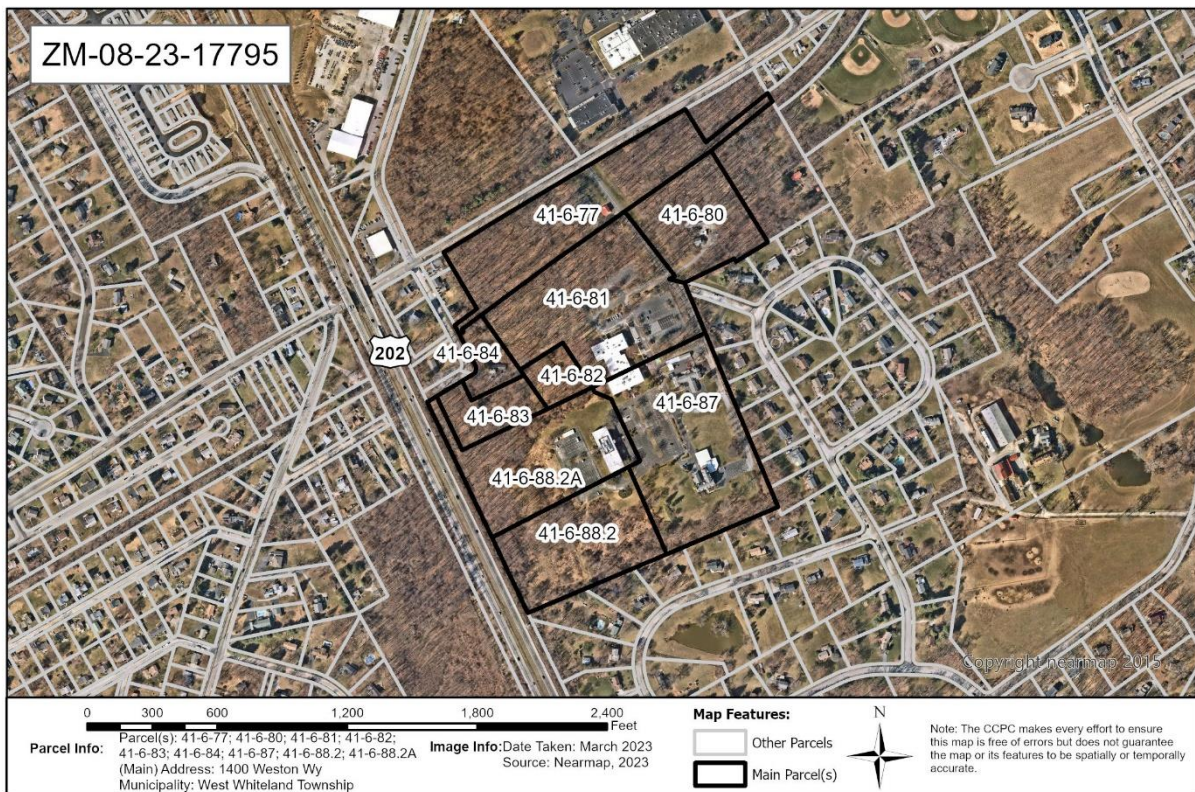
DESCRIPTION:

1. The Township has received a petition for the following amendments:
 - A. Add “Large tract residential cluster option” to the list of uses permitted in the R-1 Residential District;
 - B. Add subsection (b) to Section 325-9.C(1), pertaining to the applicable area and bulk regulations for clustering and lot averaging permitted in the R-1 District;
 - C. Add section 325-9.C(10)(c), area, bulk, and design standards for the large tract residential cluster option in the R-1 District. While the introductory language indicates that there is no overall residential density limit, the proposed standards include the following:
 - i. Minimum gross tract area: 50 acres;
 - ii. Minimum common open space: 30 percent of gross tract area;
 - iii. Perimeter buffer not less than twenty-five (25) feet wide around the perimeter of the entire tract;
 - iv. Perimeter setback – dwelling unit: 50 feet;
 - v. Maximum building coverage and maximum impervious coverage: 20 percent and 50 percent of net tract area, respectively; and
 - D. Change the zoning designation of the following parcels, generally situated on the south side of King Road, and the east side of Route 202, from O/L Office/Laboratory to R-1 Residential: UPI# 41-6-77, 41-6-80, 41-6-81, 41-6-82, 41-6-83, 41-4-84, 41-6-87, 41-6-88.2, and 41-6-88.2A.
2. It is our understanding that the purpose of this amendment petition is to allow for the construction of 31 single family residential and 72 townhouse units, along with the adaptive reuse of five historic buildings for an additional 19-23 residential units, on a 53.55 acre tract that is proposed to be rezoned from O/L Office/Laboratory to R-1 Residential. Our comments on the sketch plan provided as part of the amendment submission commence on page #4 of this review letter.

AREA EVALUATION:

The following land use planning policies and regulations are relevant to the site of the proposed zoning map amendment:

3. Land Use: The project site is the site of the Weston Solutions office campus. County Assessment Records indicate that these parcels consist of a mix of commercial office buildings, single family residential dwellings, and vacant parcels.
4. Adjacent Zoning: The adjoining land to the east and to the south is zoned R-1 Residential. The land on the west side of Route 202 is also zoned R-1 Residential. The land on the north side of King Road is zoned I-1 Limited Industrial. Seven existing parcels at the southeast corner of Route 202 and King Road will remain in the O/L Office/Laboratory district.
5. Municipal Comprehensive Plan: The Future Land Use map adopted by the Township on March 23, 2022 indicates that this area of the Township is located in a LDR Low Density Residential designation.



LANDSCAPES:

6. The area of the Township that is proposed to be rezoned R-1 Residential is located within the **Suburban Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. The vision for the **Suburban Landscape** is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Additionally, roads, sidewalks and paths with convenient access to parks and community facilities

Page: 3

Re: Zoning Ordinance Amendment - Large Tract Residential Cluster Option, R-1 Residential District; and Zoning Map Amendment – R-1 Residential District

West Whiteland Township – ZA-08-23-17794 and ZM-08-23-17795

should be provided. The proposed land use is appropriately located in a **Suburban Landscape** designation.

COMMENTS – ZONING ORDINANCE AMENDMENT:

7. We recommend that the Township provide a maximum density standard for this development option. We note that the amendment to the Township’s Comprehensive Plan adopted on March 23, 2022 states that residential development at a density of not more than two dwelling units per developable acre remains an appropriate density for the Township’s LDR Low Density Residential designation (page 10).
8. We recommend that the Township consider requiring a higher percentage of common open space than the 30 percent currently provided in the proposed ordinance (such as 45 to 50 percent). Higher open space requirements will allow for more usable open space and reduce disturbance to woodlands on the project site.
9. The Township should consider a lower maximum impervious coverage requirement than the 50 percent of net tract area currently provided in the proposed ordinance.
10. We suggest that the Township should also consider other approaches for residential development at this location (for example, a modified version of the carriage home cluster development option permitted in the Township’s R-2 Residential district, that allows single family detached dwellings in addition to twin and townhouse dwellings, at an appropriate density for the Low Density Residential Future Land Use designation). Additional information on cluster development standards is provided in the County Planning Commission’s Cluster Development planning eTool, which is available at:
<https://www.chescoplanning.org/MuniCorner/eTools/26-ClusterDev.cfm>.

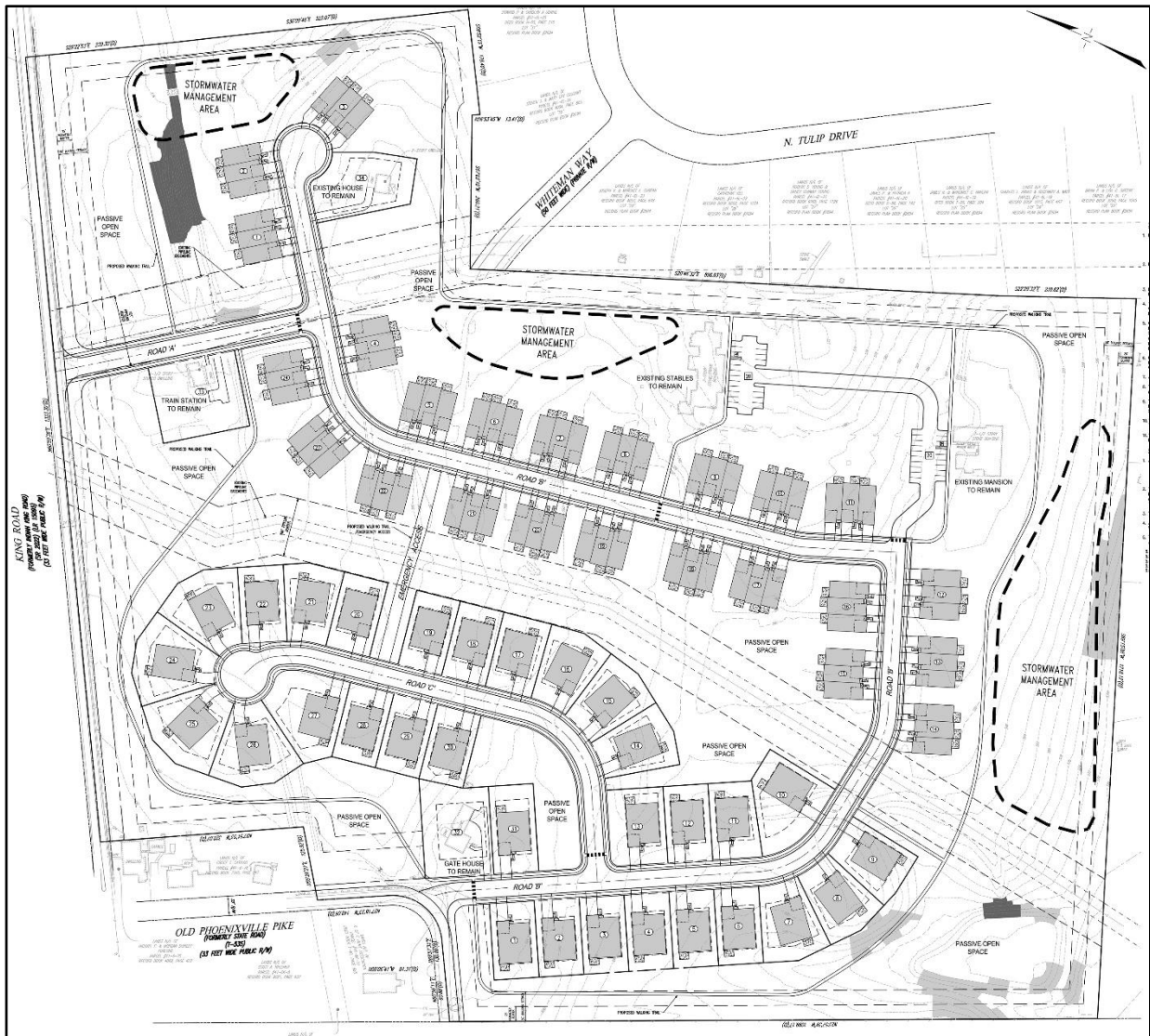
Additional information on conservation subdivisions, which provide fifty percent (50%) or more open space, is available at:
<http://www.chescoplanning.org/municorner/conservationsubdivision>.

COMMENTS – ZONING MAP AMENDMENT:

11. If the Township decides to adopt this zoning map amendment, then we recommend that the Township consider separately whether the remaining parcels should remain in the O/L Office/Laboratory District, or be changed to another zoning designation. County mapping records appear to indicate that the combined acreage of the parcels in the O/L District that are not proposed to be rezoned R-1 Residential is approximately 4.13 acres, and County Assessment records indicate that five of these parcels contain single family dwellings.
12. Prior to taking action on this amendment, the Township should ensure that they have met the posting and notification requirements for zoning map amendments as set forth in Section 609 of the PA Municipalities Planning Code (PA MPC).
13. While the Township’s Application to Amend the Zoning Ordinance form and the draft Ordinance header language both identify UPI# 41-6-84 as one of the nine parcels that is proposed to be rezoned R-1, Section 4 of the draft Ordinance identifies UPI# 41-6-86 instead. This should be clarified by the applicant. According to current County mapping records, UPI# 41-6-86 does not exist.

COMMENTS – SKETCH PLAN:

A Sketch Plan entitled “The Weston Property,” prepared by Howell Engineering, and dated November 8, 2022 and last revised June 6, 2023, was included with the zoning amendment submission. The applicant proposes the construction of 31 single family residential units and 72 townhouse units, along with the adaptive reuse of the existing historic buildings for 19 to 23 additional residential units, for an overall total of 122-126 residential units, in accordance with the proposed large tract residential cluster option provisions. The project site will be served by public water and public sewer. We offer the following comments to assist the applicant and the Township in its review of any future development activity on this site.



Sketch Plan: The Weston Property

14. The project site is located within the **Suburban Landscape** designation of [Landscapes3](#), the 2018 County Comprehensive Plan. While residential development is appropriate in a **Suburban Landscape** designation, careful consideration of the proposed development activity is required due to its physical and historic characteristics, particularly the transmission pipelines that traverse the site.

Page: 5

Re: Zoning Ordinance Amendment - Large Tract Residential Cluster Option, R-1 Residential District;
and Zoning Map Amendment – R-1 Residential District
West Whiteland Township – ZA-08-23-17794 and ZM-08-23-17795

15. **Watersheds**, the water resources component of **Landscapes3**, indicates the proposed development is located within the Ridley Creek watershed. **Watersheds'** highest priority land use objectives within this watershed are: reduce stormwater runoff, protect vegetated riparian corridors, and protect/enhance water-based recreation, cultural, historic resources and public access. **Watersheds** can be accessed at www.chesco.org/water.
16. The sketch plan depicts the location of one transmission pipeline in the central portion of the site, along with two transmission pipelines in the eastern portion of the project site (existing easements and proposed buffer areas are provided are both pipeline corridors). The mapping application in the Chester County Pipeline Information Center website indicates that the transmission pipeline in the central portion of the tract is operated by Sunoco Pipeline L.P., while the two pipelines along the easternmost portion of the tract are operated by Transcontinental Gas Pipeline Company. The applicant should be aware that the actual location of the pipeline may not always be within the center of the easement or right-of-way. To minimize risks before and during construction, the project designer should contact the Pennsylvania One Call Center at 811 or <https://www.pa1call.org/>, consistent with the provisions of Section 4(2) of Act 287 (Underground Utility Protection Act), prior to finalizing the design. The PA One Call Center should also be contacted at least 3 business days, but not more than 10 days, prior to any excavation. More information about pipeline safety can be found at the Chester County Pipeline Information Center at: <http://www.chescoplanning.org/pic/introduction.cfm>.
17. General Note 5 indicates that five existing historical resources on the site are to be saved, and are intended to be rehabilitated and used as follows:
 - An existing house, an existing train station, and an existing gatehouse will be used as single family residences. We note that the Township's 2022 Historic Resources Listing indicates that the "train station" on the project site is the Woodland Station/Morstein Station, which was built in 1870, and is on the National Register of Historic Places;
 - An existing mansion, the Morstein Mansion, will be used as an approximately 8-10 unit apartment building; and
 - An existing stable will be used as an approximately 8-10 unit apartment building.

It is our understanding that than an earlier version of this sketch plan was reviewed by the Township Historical Commission on May 8, 2023. The applicant and Township should continue to work together the preserve the historic buildings and surrounding context on the project site. "Appreciate" Objective A of **Landscapes3**, the 2018 County Comprehensive Plan, is to preserve historic resources in their context while supporting appropriate reuse as a vital part of our community infrastructure and character. Additional information on this issue is available online at: www.chescoplanning.org/Landscapes3/1c-Appreciate.cfm.

18. We endorse the installation of sidewalks. Sidewalks are an essential design element for new construction in the **Suburban Landscape**.
19. The sketch plan indicates that walking trails will be provided within the proposed open space areas. The Township should review the location and design of the proposed trail system. We recommend that all trail corridor location and design details be incorporated into the final plan, and we also recommend that all trails be constructed prior to the Township issuing any building occupancy permits for this development. We also recommend that the applicant and Township consider utilizing all-weather materials in the construction of this trail corridor, which will accommodate a wider variety of uses, and be handicapped-accessible.

Page: 6

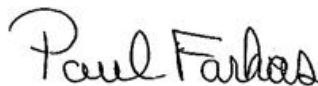
Re: Zoning Ordinance Amendment - Large Tract Residential Cluster Option, R-1 Residential District;
and Zoning Map Amendment – R-1 Residential District
West Whiteland Township – ZA-08-23-17794 and ZM-08-23-17795

20. 2023 aerial photography indicate that a portion of the site is wooded. Mature trees and shrubs reduce the volume and impacts of stormwater runoff by intercepting precipitation, increasing evapotranspiration, and stabilizing soil through root growth. The removal of trees should be limited to the minimum area needed for the dwelling(s) and support facilities. The limits of tree removal should be clearly shown on the plan and “limits of disturbance” should be delineated to protect all trees that are intended to remain. Orange construction fencing should be placed at the “limit of disturbance” to prevent unintended intrusion into woodland areas by construction equipment. This fencing should be placed at the drip line of any trees that are intended to remain to limit inadvertent impacts from construction equipment to root zones and long-term tree health. Additional native trees and shrubs should be incorporated into the landscaping plans to replace and mitigate the loss of removed trees.
21. The Zoning Data Tabulation table indicates that 43.5 percent of the tract will be common open space. For clarity purposes, the applicant should identify if this proposed open space figure includes transmission pipeline easements and/or the stormwater management areas shown on the sketch plan. Additionally, we recommend that the common open space be located in central locations of the residential development, in order to provide access to light and fresh air, a sense of openness, and space for recreation, relaxation, and gathering. The open space should be usable for a variety of active and passive uses, in scale with the development, and accessible by all residents.
22. The sketch plan depicts the location of three stormwater management areas. We suggest that the applicant consider providing a series of stormwater management features throughout the development, rather than providing large facilities within the areas currently shown on the sketch plan.

RECOMMENDATION: The Township should consider the comments in this letter before acting on the proposed zoning ordinance and zoning map amendments.

We request an official copy of the decision made by the Township Supervisors, as required by Section 609(g) of the Pennsylvania Municipalities Planning Code. This will allow us to maintain a current file copy of your ordinance.

Sincerely,



Paul Farkas
Senior Review Planner

cc: Roy F. Weston, Inc.
Willow Hill Development Group, LLC

Act 537 Reviews

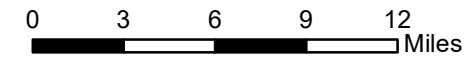
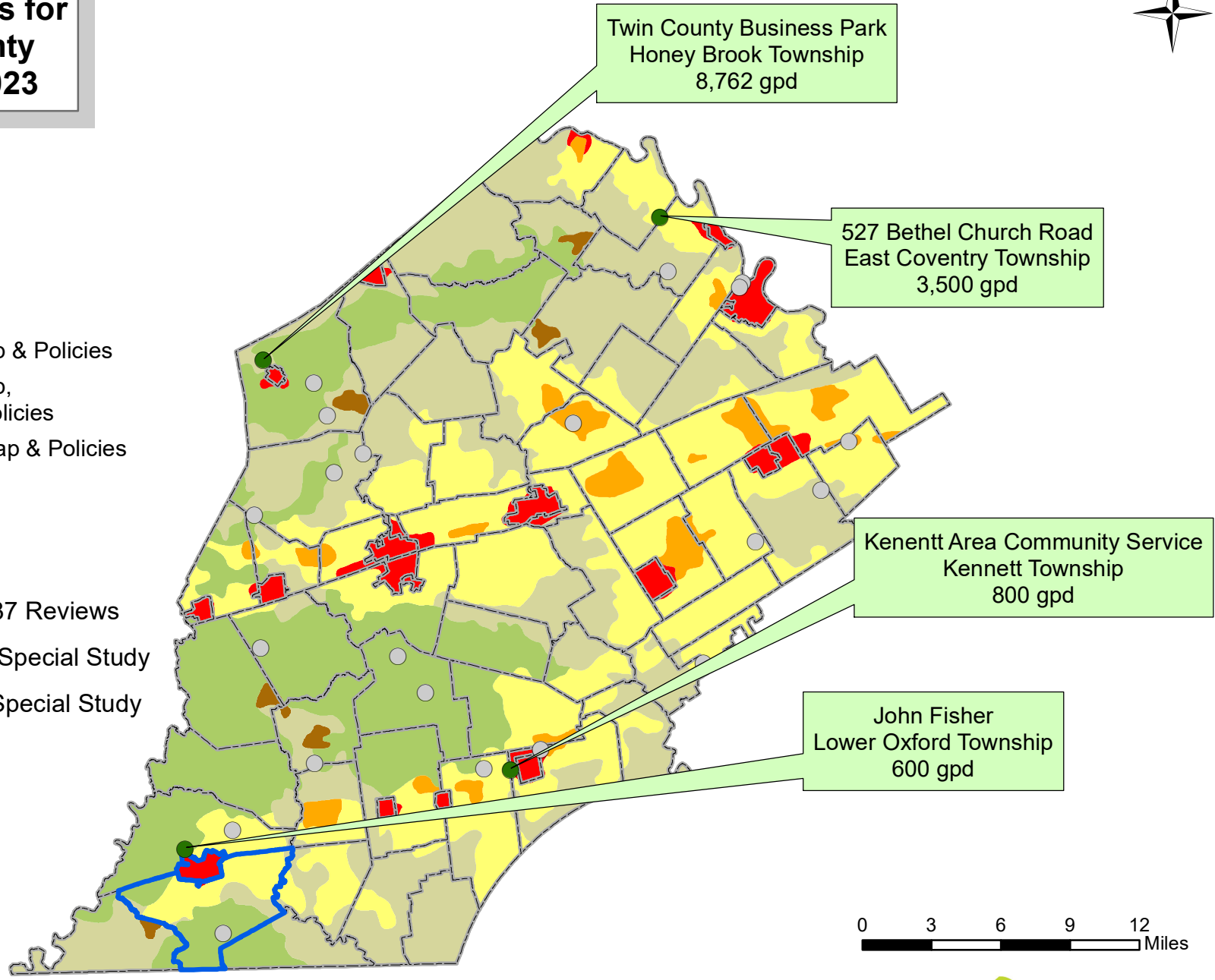
Act 537 Reviews for Chester County September 2023



- Consistent with Map & Policies
- Consistent with Map, Inconsistent with Policies
- Inconsistent with Map & Policies

Legend

- September Act 537 Reviews
- East Nottingham Special Study
- Oxford Borough Special Study
- Agricultural
- Rural Center
- Suburban Center
- Urban Center
- Rural
- Suburban



Map prepared October 2023
 Data Sources:
 Act 537 Review - created by Chester County Planning Commission, 2018;
 Landscapes3 - Chester County Municipalities - Chester County DCIS/GIS;
 Planning Commission, November 29, 2018.



Chester County Planning Commission
October 11, 2023

ENVIRONMENTAL PLANNING ACTIVITIES

Sewage Facilities Planning

MAJOR REVISIONS TO MUNICIPAL PLANS:

Shadyside Mobile Home Park Special Study, East Nottingham Township
Valley Avenue Special Study, Oxford Borough

MINOR REVISIONS TO MUNICIPAL PLANS:

East Coventry Township, 527 Bethel Church Road

The applicant is proposing a 6-lot residential development on 17.8 acres. The site is located on Bethel Church Road, near the intersection with Keen Road. The amount of wastewater for the project is 3,500 gpd. The project is to be served by on-lot sewage disposal systems. This project is designated as a Suburban Landscape and is consistent with *Landscapes3*.

Honey Brook Township, Twin County Business Park

The applicant is proposing the development of 10 business park lots on 53 acres. The site is located on Westbrooke Drive and Todd Road. The current amount of wastewater for the project is 8,762 gpd. The project is to be served by a public sewage disposal system managed by the Northwestern Chester County Municipal Authority. This project is designated as both Rural and Suburban Landscapes and is consistent with *Landscapes3*.

Kennett Township, Kennett Area Community Service

The applicant is proposing a food distribution center of 29,529 square feet, on 5.8 acres. The site is located on West Cypress Street. The amount of additional wastewater for the project is 800 gpd. The project is to be served by a public sewage disposal system, managed by New Garden Township. This project is designated as the Suburban and Urban Landscape and is consistent with *Landscapes3*.

Lower Oxford Township, John Fisher

The applicant is proposing a residential development of 1 lot on 49 acres. The site is on Scroggy Road, north of the Kennett Oxford Bypass. The additional amount of wastewater for the project is 600 gpd. The project is to be served by an on-lot sewage disposal system. This project is designated as an Agricultural Landscape and is consistent with *Landscapes3*.

TOPIC: Environmental

Item: East Nottingham Township, Shadyside Mobile Home Park Special Study- Consistent

Background

This Special Study was prepared to discontinue the use of the current on-lot system and connect to the Oxford Area Sewer Authority's system, where it connects into the Wicklow Subdivision.

Discussion

The Special Study is consistent with the goals of *Landscapes3*, as it relates to connection to the public sewer service, due to an aging system with operational limitations. Additionally, this proposal is for an existing system, connecting to an area that is located within the Suburban Landscape. Further, the use of public sewer is consistent with the Connect Goal, which supports efficient, reliable, and innovative utility infrastructure systems to serve thriving and growing communities.

The proposed Plan is also consistent with *Watersheds* objective 7.2 of Goal 7, "concentrate planned utility service areas to support designated growth areas" as both the existing development and the Wicklow Subdivision are located in the Suburban Landscape.

The Planning Commission supports the Plan and recommended that DEP approve the Plan.

TOPIC: Environmental

Item: Oxford Borough, Valley Avenue Special Study- Consistent

Background

This Special Study was prepared to plan for the replacement of 2,300 linear feet of sewer main with larger diameter pipe, to manage flow and avoid future potential overflow conditions in the Oxford Area Sewer Authority system.

Discussion

The Act 537 Plan is consistent with the goals of *Landscapes3*, as they relate to the public sewer service areas where the sewer main is to be replaced, which is located within the Urban Landscape. Further, the use of public sewer is consistent with the Connect Goal, which supports efficient, reliable, and innovative utility infrastructure systems to serve thriving and growing communities.

The proposed Plan is also consistent with *Watersheds* objective 7.2 of Goal 7, “concentrate planned utility service areas to support designated growth areas”. As proposed, the Valley Avenue sewer main replacement is located within the county’s growth area and is consistent with the objectives of Watersheds.

The Planning Commission supports the Plan and recommended that DEP approve the Plan.

Action Requested

Staff requests ratification of the attached review letters containing the comments noted above.

10/11/2023

Major Revisions



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

September 7, 2023

Spence Address
Government Specialists, Inc.
PO Box 336
Oxford, PA 19363-0336
thinker@gsi-cpl.com

Re: Special Study: Shadyside Mobile Home Park, East Nottingham Township

Dear Mr. Address:

The Chester County Planning Commission (Planning Commission) has reviewed the Special Study for Shadyside Mobile Home Park dated May 2023 as required by Section 71.31(b) of the Pennsylvania Sewage Facilities Act (Act 537). The Plan was prepared by Government Specialists, Inc. and was received on July 11, 2023. As proposed, the selected alternative is to discontinue the use of the current on-lot system and connect to the Oxford Area Sewer Authority's system, where it connects in the Wicklow Subdivision.

The following comments are offered based on review of the document:

A. Consistency of the Act 537 Plan Update with the County Comprehensive Plan –
Landscapes3:

1. *Landscapes3* Map:

Landscapes3 designates the area proposed for connection to the Wicklow Subdivision as being located within the Suburban Landscapes. The Planning Commission finds the proposal to be consistent with the Map of *Landscapes3* (2018).

2. *Landscapes3* Plan:

As presented, the area proposed to connect to the Wicklow Subdivision is located within a designated growth area, and is consistent with *Landscapes3* Connect Objective F, which states, "Coordinate water and sewage facilities planning with land use planning so that development is directed toward designated growth areas with adequate and well-maintained infrastructure."

B. Consistency of the Selected Alternative with *Landscapes3*:

The selected alternative for Shadyside Mobile Home Park is to connect to the Wicklow Subdivision's sewer main and to discontinue the use of their community system, which is aging and facing operational limitations. The proposed alternative is consistent with *Landscapes3*


Connect Goal, “Advance efficient, reliable, and innovative transportation, utility, and communications infrastructure systems that responsibly serve thriving and growing communities.” As proposed, this connection is consistent with *Landscapes3*.

C. Consistency with the County Water Resources Plan - *Watersheds*:

Watersheds, the water resources element of the County comprehensive plan, identifies Objective 7.2 of Goal 7, “concentrate planned utility service areas to support designated growth areas.” The Shadyside Mobile Home Park and adjacent Wicklow Subdivision, according to the Landscapes Map, are located within the Suburban Landscape and is consistent with the objectives of Watersheds, as both sites are developed.

Thank you for the opportunity to offer comments on this Plan. We hope that these comments will be of assistance as you prepare for submission of this planning document to the PA DEP. If you have any questions, please contact me at 610-344-6285 or cconwell@chesco.org.

Sincerely,



Carrie J. Conwell, AICP
Senior Environmental Planner

cc: Elizabeth Mahoney, PaDEP
Ryan Oxenford, Chester County Health Department
Diana Wood, East Nottingham Township



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

September 20, 2023

Spence Address
Government Specialists, Inc.
PO Box 336
Oxford, PA 19363-0336
thinker@gsi-cpl.com

Re: Special Study: Valley Avenue Oxford Area Sewer Authority Special Study, Oxford Borough

Dear Mr. Address:

The Chester County Planning Commission (Planning Commission) has reviewed the Special Study for Valley Avenue dated July 2023 as required by Section 71.31(b) of the Pennsylvania Sewage Facilities Act (Act 537). The Plan was prepared by Government Specialists, Inc. and was received on July 24, 2023. As proposed, the selected alternative is to replace 2,300 linear feet of sewer main, with a larger diameter pipe, to manage flow and avoid future potential overflow conditions.

The following comments are offered based on review of the document:

A. Consistency of the Act 537 Plan Update with the County Comprehensive Plan –
Landscapes3:

1. *Landscapes3* Map:

Landscapes3 designates the area proposed for sewer main replacement as being located within the Urban Landscape. The Planning Commission finds the proposal to be consistent with the Map of *Landscapes3* (2018).

2. *Landscapes3* Plan:

As presented, the areas proposed to connect to the Valley Avenue sewer main is located within a designated growth area, and is consistent with *Landscapes3* Connect Objective F, which states, "Coordinate water and sewage facilities planning with land use planning so that development is directed toward designated growth areas with adequate and well-maintained infrastructure."

B. Consistency of the Selected Alternative with *Landscapes3*:

The selected alternative for the Oxford Area Sewer Authority's Valley Avenue sewer main, is to install a larger diameter pipe as a proactive measure to manage future (approved) flows and avoid potential overflow conditions at buildout. The proposed alternative is consistent with *Landscapes3* Connect Goal, "Advance efficient, reliable, and innovative transportation,

utility, and communications infrastructure systems that responsibly serve thriving and growing communities.” As proposed, this sewer main replacement is consistent with *Landscapes3*.

C. Consistency with the County Water Resources Plan - *Watersheds*:

Watersheds, the water resources element of the County comprehensive plan, identifies Objective 7.2 of Goal 7, “concentrate planned utility service areas to support designated growth areas.” The Oxford Area Sewer Authority’s Valley Avenue sewer main, according to the Landscapes Map, are located within the Urban Landscape and is consistent with the objectives of Watersheds, as both sites are developed.

Thank you for the opportunity to offer comments on this Plan. We hope that these comments will be of assistance as you prepare for submission of this planning document to the PA DEP. If you have any questions, please contact me at 610-344-6285 or cconwell@chesco.org.

Sincerely,



Carrie J. Conwell, AICP
Senior Environmental Planner

cc: Elizabeth Mahoney, PaDEP
Ryan Oxenford, Chester County Health Department
Pauline Garcia-Allen, Oxford Borough
Oxford Area Sewer Authority

Minor Revisions



**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW
 (or Planning Agency with Areawide Jurisdiction)**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and or copy of this **Planning Agency Review Component** should be sent to the existing county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name & Municipality 527 Bethel Church Road, East Coventry Township

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency. August 23, 2023
2. Date plan received by planning agency with areawide jurisdiction N/A Agency name N/A
3. Date review completed by agency September 07, 2023

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 et seq.)? <u>Landscapes3, the Chester County Comprehensive Plan, was adopted in 2018. Watersheds, the Chester County Comprehensive Plan Integrated Water Resources Element, was adopted in 2002.</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? <u>According to the Landscapes map adopted in 2018, the proposed subdivision/land development includes land designated as the Suburban Landscape. The vision for the Suburban Landscape is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Both on-lot and public sewer systems are supported in this landscape.</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Does this proposal meet the goals and objectives of the plan? If no, describe goals and objectives that are not met
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with the use, development, and protection of water resources? If no, describe inconsistency <u>Landscapes3 Protect Objective A states: "Guide development away from sensitive natural resources and toward areas appropriate for accommodating growth." According to PA Code Title 25, Chapter 93, this proposal is located in a watershed or sub-watershed that has a stream use designated as High Quality Waters, the Pigeon Creek. These streams are given high priority when considering watershed protection measures. The applicant may need to conduct further coordination with DEP or other agencies in order to comply with the water quality standards set forth in this regulation.</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation? If no, describe inconsistencies:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impact: <u>* Landscapes3 Protect Objective B supports comprehensive protection and restoration of the county's ecosystems, including wetlands. The project site contains delineated wetlands, although it does not appear that any proposed development activity will encroach upon them. The applicant should be aware that placement of fill in wetlands is regulated by Section 404 of the Clean Water Act (1977) and PA DEP Chapter 105 Rules and Regulations.</u>
<input type="checkbox"/>	<input type="checkbox"/>	7. Will any known historical or archaeological resources be impacted by this project? Not Known. If yes, describe impacts
<input type="checkbox"/>	<input checked="" type="checkbox"/>	8. Will any known endangered or threatened species of plant or animal be impacted by the development project?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Is there a county or areawide zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	10. Does this proposal meet the zoning requirements of the ordinance? N/A

Yes	No	SECTION C. AGENCY REVIEW (continued)
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- | | | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? N/A |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 12. Is there a county or areawide subdivision and land development ordinance? No |
| <input type="checkbox"/> | <input type="checkbox"/> | 13. Does this proposal meet the requirements of the ordinance? N/A
If no, describe which requirements are not met |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this proposal consistent with the municipal Act 537 Official Sewage Facilities Plan?
If no, describe inconsistency |
| <input type="checkbox"/> | <input type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? Not known If yes, describe |
| <input type="checkbox"/> | <input type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
If yes, is the proposed waiver consistent with applicable ordinances. Not Known
If no, describe inconsistencies |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. Does the county have a stormwater management plan as required by the Stormwater Management Act? If yes, will this project plan require the implementation of storm water management measures? <u>We note that on August 17, 2022, the Chester County Board of Commissioners adopted a resolution to amend the County-wide Act 167 Stormwater Management Plan for Chester County, PA to replace the 2013 model ordinance. Further, PA DEP approved the County Stormwater Management Ordinance in November 2022. Municipalities with MS4 permits should be consistent with the updated County-wide Model Ordinance by September 30, 2022, per PA DEP requirements, and all municipalities are required to adopt the updated ordinance requirements by May 2023. Individual municipalities should be consulted to determine the stormwater ordinance currently in effect in their municipality. For more information and updates on this process please visit the Chester County Water Resources Authority at http://www.chesco.org/water</u> |

18.

Name, Title and signature of person completing this section:

Name: Carrie J. Conwell, AICPTitle: Senior Environmental Planner

Signature: _____

Date: 9/7/2023Name of County or Areawide Planning Agency: Chester County Planning CommissionAddress: Government Services Center, Suite 270601 Westtown RoadP.O. Box 2747West Chester, PA 19380-0990Telephone Number: (610) 344-6285**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This submission does does not indicate that the Planning Module is consistent with Township planning. Please be advised that DEP may require additional information from the municipality and/or applicant to determine consistency with local planning and/or to show references to Act 537 planning and applicable municipal ordinances.

The Planning Commission previously reviewed this project under PA Act 247 as Case Number SD-03-22-17153.

According to the National Pipeline Mapping System (NMPS), the proposed project is located within an area that contains the Transcanada/Columbia Transmission pipeline corridor. While the location of this project's proximity does not preclude development along the pipeline corridor, there may be special steps that can avoid negative impacts or interactions between the public and the pipeline. The Chester County Planning Commission recommends contacting the pipeline operator to coordinate construction activities in addition to calling 811 before digging. You can find contact information for the operator in your area by going to the Chester County Pipeline Information Center website <https://www.chescoplanning.org/pic/operators.cfm> and linking to the corresponding company.

The Chester County Planning Commission recommends that all municipalities adopt an ordinance requiring regular management, inspection and pump-out of all individual sewage systems, established in a legally enforceable manner. A municipal management program will be essential in helping to ensure the long-term viability of the individual systems that are proposed in this project.

PC53-09-23-17833

The county planning agency must complete this Component within 60 days.

This Component and any additional comments are to be returned to the applicant.

cc: Elizabeth Mahoney, PaDEP
Chester County Health Department
Greg Wagman, Marsh Creek Homes
Eugene Briggs, Jr., East Coventry Township
Adam Brower, Edward B. Walsh & Assoc., Inc.



**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW
(or Planning Agency with Areawide Jurisdiction)**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and or copy of this **Planning Agency Review Component** should be sent to the existing county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name & Municipality Twin County Business Park, LLC, Honey Brook Township

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency. July 21, 2023
2. Date plan received by planning agency with areawide jurisdiction N/A Agency name N/A
3. Date review completed by agency September 15, 2023

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 et seq.)? <u>Landscapes3, the Chester County Comprehensive Plan, was adopted in 2018. Watersheds, the Chester County Comprehensive Plan Integrated Water Resources Element, was adopted in 2002.</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use?
<u>According to the Landscapes map adopted in 2018, the proposed subdivision/land development includes land designated as the Rural Landscape. The vision for the Rural Landscape is the preservation of significant areas of open space, critical natural areas, and cultural resources with a limited amount of context sensitive development permitted to accommodate residential and farm needs. On-lot sewage disposal, or very limited public or community sewer service to serve cluster development or concentrations of failing on-lot sewage systems, is supported in this landscape.</u>
<u>While this proposal would not typically be consistent with the vision for the Rural Landscape, we find the proposed subdivision and land development to be generally consistent with Landscapes3 because it reflects the existing development character of the area.</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan?
If no, describe goals and objectives that are not met |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe inconsistency <u>Landscapes3 Protect Objective A states: "Guide development away from sensitive natural resources and toward areas appropriate for accommodating growth." According to PA Code Title 25, Chapter 93, this proposal is located in a watershed or sub-watershed that has a stream use designated as High Quality Waters, the West Branch Brandywine. These streams are given high priority when considering watershed protection measures. The applicant may need to conduct further coordination with DEP or other agencies in order to comply with the water quality standards set forth in this regulation.</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation? If no, describe inconsistencies: |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impact: <u>*Landscapes3 Protect Objective B supports comprehensive protection and restoration of the county's ecosystems, including wetlands. The project site contains delineated wetlands, although it does not appear that any proposed development activity will encroach upon them. The applicant should be aware that placement of fill in wetlands is regulated by Section 404 of the Clean Water Act (1977) and PA DEP Chapter 105 Rules and Regulations.</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archaeological resources be impacted by this project? Not Known.
If yes, describe impacts |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance? N/A |

Yes	No	SECTION C. AGENCY REVIEW (continued)
-----	----	--------------------------------------

- | | | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? N/A |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 12. Is there a county or areawide subdivision and land development ordinance? No |
| <input type="checkbox"/> | <input type="checkbox"/> | 13. Does this proposal meet the requirements of the ordinance? N/A
If no, describe which requirements are not met |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this proposal consistent with the municipal Act 537 Official Sewage Facilities Plan?
If no, describe inconsistency |
| <input type="checkbox"/> | <input type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? Not known If yes, describe |
| <input type="checkbox"/> | <input type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
If yes, is the proposed waiver consistent with applicable ordinances. Not Known
If no, describe inconsistencies |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. Does the county have a stormwater management plan as required by the Stormwater Management Act? If yes, will this project plan require the implementation of storm water management measures? <u>We note that on August 17, 2022, the Chester County Board of Commissioners adopted a resolution to amend the County-wide Act 167 Stormwater Management Plan for Chester County, PA to replace the 2013 model ordinance. Further, PA DEP approved the County Stormwater Management Ordinance in November 2022. Municipalities with MS4 permits should be consistent with the updated County-wide Model Ordinance by September 30, 2022, per PA DEP requirements, and all municipalities were required to adopt the updated ordinance requirements by May 2023. Individual municipalities should be consulted regarding the stormwater ordinance currently in effect in their municipality. For more information and updates on this process please visit the Chester County Water Resources Authority at http://www.chesco.org/water</u> |

18.

Name, Title and signature of person completing this section:

Name: Carrie J. Conwell, AICPTitle: Senior Environmental Planner

Signature: _____

Date: 9/14/2023Name of County or Areawide Planning Agency: Chester County Planning CommissionAddress: Government Services Center, Suite 270601 Westtown RoadP.O. Box 2747West Chester, PA 19380-0990Telephone Number: (610) 344-6285**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This submission does does not indicate that the Planning Module is consistent with Township planning. Please be advised that DEP may require additional information from the municipality and/or applicant to determine consistency with local planning and/or to show references to Act 537 planning and applicable municipal ordinances.

This project was previously reviewed under PA Act 247 as Case Numbers SD-04-23-17637 and LD-04-23-17638.

The Chester County Planning Commission recommends that all municipalities adopt an ordinance requiring regular management, inspection and pump-out of all individual sewage systems, established in a legally enforceable manner. A municipal management program will be essential in helping to ensure the long-term viability of the individual systems that are proposed in this project.

PC53-09-23-17849

The county planning agency must complete this Component within 60 days.

This Component and any additional comments are to be returned to the applicant.

cc: Elizabeth Mahoney, PaDEP
Chester County Health Department
Jonathan Martin, Brecknock Builders
Warren Obenski, Honey Brook Township
Vic Kelly, Commonwealth Engineers Inc



**SEWAGE FACILITIES PLANNING MODULE
COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW
(or Planning Agency with Areawide Jurisdiction)**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and one copy of this **Planning Agency Review Component** should be sent to the existing county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name & Municipality Kennett Area Community Service, New Garden Township

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

- Date plan received by county planning agency. August 01, 2023
- Date plan received by planning agency with areawide jurisdiction N/A Agency name N/A
- Date review completed by agency September 18, 2023

SECTION C. AGENCY REVIEW (See Section C of instructions)

- | Yes | No | |
|-------------------------------------|-------------------------------------|---|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 et seq.)? <u>Landscapes3, the Chester County Comprehensive Plan, was adopted in 2018. Watersheds, the Chester County Comprehensive Plan Integrated Water Resources Element, was adopted in 2002.</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 2. Is this proposal consistent with the comprehensive plan for land use?
<u>According to the Landscapes map adopted in 2018, the eastern parcel of the proposed subdivision/land development includes land designated as the Urban Center Landscape. The vision for the Urban Center Landscape is historic downtown and established neighborhoods serving as civic, economic and population centers with a traditional town character, accommodating substantial future growth at a medium to high intensity. Public sewer systems are encouraged in this landscape. Additionally, according to the Landscapes map adopted in 2018, the western parcel of the proposed subdivision/land development includes land designated as the Suburban Landscape. The vision for the Suburban Landscape is predominantly residential communities with locally-oriented commercial uses and facilities, accommodating growth at a medium density that retains a focus on residential neighborhoods, with enhancements in housing diversity and affordability. Both on-lot and public sewer systems are supported in this landscape.</u> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 3. Does this proposal meet the goals and objectives of the plan?
If no, describe goals and objectives that are not met |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 4. Is this proposal consistent with the use, development, and protection of water resources?
If no, describe inconsistency |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation? If no, describe inconsistencies: |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 6. Does this project propose encroachments, obstructions, or dams that will affect wetlands?
If yes, describe impact: <u>Landscapes3 Protect Objective B supports comprehensive protection and restoration of the county's ecosystems, including wetlands. The project site contains delineated wetlands, although it does not appear that any proposed development activity will encroach upon them. The applicant should be aware that placement of fill in wetlands is regulated by Section 404 of the Clean Water Act (1977) and PA DEP Chapter 105 Rules and Regulations.</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | 7. Will any known historical or archaeological resources be impacted by this project? Not Known.
If yes, describe impacts |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 8. Will any known endangered or threatened species of plant or animal be impacted by the development project? |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 9. Is there a county or areawide zoning ordinance? |
| <input type="checkbox"/> | <input type="checkbox"/> | 10. Does this proposal meet the zoning requirements of the ordinance? N/A |

Yes	No	SECTION C. AGENCY REVIEW (continued)
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- | | | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? N/A |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 12. Is there a county or areawide subdivision and land development ordinance? No |
| <input type="checkbox"/> | <input type="checkbox"/> | 13. Does this proposal meet the requirements of the ordinance? N/A
If no, describe which requirements are not met |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 14. Is this proposal consistent with the municipal Act 537 Official Sewage Facilities Plan? If no, describe inconsistency
<u>The Act 537 Plan designates this area for on-lot disposal</u> |
| <input type="checkbox"/> | <input type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? Not known If yes, describe |
| <input type="checkbox"/> | <input type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
If yes, is the proposed waiver consistent with applicable ordinances. Not Known
If no, describe inconsistencies |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. Does the county have a stormwater management plan as required by the Stormwater Management Act? If yes, will this project plan require the implementation of storm water management measures? <u>We note that on August 17, 2022, the Chester County Board of Commissioners adopted a resolution to amend the County-wide Act 167 Stormwater Management Plan for Chester County, PA and PA DEP approved the County Stormwater Management Ordinance in November 2022. Per PA DEP requirements, all municipalities were required to adopt the updated ordinance requirements by May 2023. Individual municipalities should be consulted regarding the specific stormwater ordinance in effect in their municipality. For more information, please visit the Chester County Water Resources Authority at http://www.chesco.org/water.</u> |

18.

Name, Title and signature of person completing this section:

Name: Carrie J. Conwell, AICPTitle: Senior Environmental PlannerDate: 9/18/2023

Signature: _____

Name of County or Areawide Planning Agency: Chester County Planning CommissionAddress: Government Services Center, Suite 270601 Westtown RoadP.O. Box 2747West Chester, PA 19380-0990Telephone Number: (610) 344-6285**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This submission does does not indicate that the Planning Module is consistent with Township planning. Please be advised that DEP may require additional information from the municipality and/or applicant to determine consistency with local planning and/or to show references to Act 537 planning and applicable municipal ordinances.

A Conditionial Use submission for this project was previously reviewed under PA Act 247 as Case CU-11-18-15651 and was consistent with Landscapes3.

PC53-09-23-17853

The county planning agency must complete this Component within 60 days.
This Component and any additional comments are to be returned to the applicant.

cc: Elizabeth Mahoney, PaDEP
Chester County Health Department
William R Majarian, Site Contact
Eden Ratliff, Kennett Township
Daniel Hudson, Evans Mill Environmental, LLC



**SEWAGE FACILITIES PLANNING MODULE
 COMPONENT 4B - COUNTY PLANNING AGENCY REVIEW
 (or Planning Agency with Areawide Jurisdiction)**

Note to Project Sponsor: To expedite the review of your proposal, one copy of your completed planning package and or copy of this **Planning Agency Review Component** should be sent to the existing county planning agency or planning agency with areawide jurisdiction for their comments.

SECTION A. PROJECT NAME (See Section A of instructions)

Project Name & Municipality John Fisher, Lower Oxford Township

SECTION B. REVIEW SCHEDULE (See Section B of instructions)

1. Date plan received by county planning agency. August 01, 2023
2. Date plan received by planning agency with areawide jurisdiction N/A Agency name N/A
3. Date review completed by agency September 05, 2023

SECTION C. AGENCY REVIEW (See Section C of instructions)

Yes	No	
<input checked="" type="checkbox"/>	<input type="checkbox"/>	1. Is there a county or areawide comprehensive plan adopted under the Municipalities Planning Code (53 P.S. 10101 et seq.)? <u>Landscapes3, the Chester County Comprehensive Plan, was adopted in 2018. Watersheds, the Chester County Comprehensive Plan Integrated Water Resources Element, was adopted in 2002.</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	2. Is this proposal consistent with the comprehensive plan for land use? <u>According to the Landscapes map adopted in 2018, the proposed subdivision/land development includes land designated as the Agricultural Landscape. The vision for the Agricultural Landscape is very limited development occurring at very low densities to preserve prime agricultural soils and farm operations. On-lot sewage disposal is supported in this landscape, except where public health requires alternatives.</u>
<input checked="" type="checkbox"/>	<input type="checkbox"/>	3. Does this proposal meet the goals and objectives of the plan? If no, describe goals and objectives that are not met
<input checked="" type="checkbox"/>	<input type="checkbox"/>	4. Is this proposal consistent with the use, development, and protection of water resources? If no, describe inconsistency
<input checked="" type="checkbox"/>	<input type="checkbox"/>	5. Is this proposal consistent with the county or areawide comprehensive land use planning relative to Prime Agricultural Land Preservation? If no, describe inconsistencies:
<input type="checkbox"/>	<input checked="" type="checkbox"/>	6. Does this project propose encroachments, obstructions, or dams that will affect wetlands? If yes, describe impact:
<input type="checkbox"/>	<input type="checkbox"/>	7. Will any known historical or archaeological resources be impacted by this project? Not Known. If yes, describe impacts
<input type="checkbox"/>	<input checked="" type="checkbox"/>	8. Will any known endangered or threatened species of plant or animal be impacted by the development project?
<input type="checkbox"/>	<input checked="" type="checkbox"/>	9. Is there a county or areawide zoning ordinance?
<input type="checkbox"/>	<input type="checkbox"/>	10. Does this proposal meet the zoning requirements of the ordinance? N/A

Yes	No	SECTION C. AGENCY REVIEW (continued)
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- | | | |
|-------------------------------------|-------------------------------------|--|
| <input type="checkbox"/> | <input type="checkbox"/> | 11. Have all applicable zoning approvals been obtained? N/A |
| <input type="checkbox"/> | <input checked="" type="checkbox"/> | 12. Is there a county or areawide subdivision and land development ordinance? No |
| <input type="checkbox"/> | <input type="checkbox"/> | 13. Does this proposal meet the requirements of the ordinance? N/A
If no, describe which requirements are not met |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 14. Is this proposal consistent with the municipal Act 537 Official Sewage Facilities Plan?
If no, describe inconsistency |
| <input type="checkbox"/> | <input type="checkbox"/> | 15. Are there any wastewater disposal needs in the area adjacent to this proposal that should be considered by the municipality? Not known If yes, describe |
| <input type="checkbox"/> | <input type="checkbox"/> | 16. Has a waiver of the sewage facilities planning requirements been requested for the residual tract of this subdivision?
If yes, is the proposed waiver consistent with applicable ordinances. Not Known
If no, describe inconsistencies |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | 17. Does the county have a stormwater management plan as required by the Stormwater Management Act? If yes, will this project plan require the implementation of storm water management measures? <u>We note that on August 17, 2022, the Chester County Board of Commissioners adopted a resolution to amend the County-wide Act 167 Stormwater Management Plan for Chester County, PA to replace the 2013 model ordinance. Further, PA DEP approved the County Stormwater Management Ordinance in November 2022. Municipalities with MS4 permits should be consistent with the updated County-wide Model Ordinance by September 30, 2022, per PA DEP requirements, and all municipalities are required to adopt the updated ordinance requirements by May 2023. Individual municipalities should be consulted to determine the stormwater ordinance currently in effect in their municipality. For more information please visit the Chester County Water Resources Authority at http://www.chesco.org/water</u> |

18.

Name, Title and signature of person completing this section:

Name: Carrie J. Conwell, AICPTitle: Senior Environmental Planner

Signature: _____

Date: 9/5/2023Name of County or Areawide Planning Agency: Chester County Planning CommissionAddress: Government Services Center, Suite 270601 Westtown RoadP.O. Box 2747West Chester, PA 19380-0990Telephone Number: (610) 344-6285**SECTION D. ADDITIONAL COMMENTS (See Section D of instructions)**

This submission does does not indicate that the Planning Module is consistent with Township planning. Please be advised that DEP may require additional information from the municipality and/or applicant to determine consistency with local planning and/or to show references to Act 537 planning and applicable municipal ordinances.

The Chester County Planning Commission recommends that all municipalities adopt an ordinance requiring regular management, inspection and pump-out of all individual sewage systems, established in a legally enforceable manner. A municipal management program will be essential in helping to ensure the long-term viability of the individual systems that are proposed in this project.

PC53-09-23-17831

The county planning agency must complete this Component within 60 days.

This Component and any additional comments are to be returned to the applicant.

cc: Elizabeth Mahoney, PaDEP
Chester County Health Department
John and Malinda Fisher, Site Contact
Deborah Kinney, Lower Oxford Township
Edward Beideman, Willow Run Consulting, Inc.

Agricultural Security Area Reviews



ASA Seven-year Review



TOPIC: Agricultural Preservation

Item: Act 43, Agricultural Security Area Review – Honey Brook Township

Background

The Agricultural Security Area (ASA) Program was created to help protect the agricultural industry in Pennsylvania from increasing development pressure. Landowners in an ASA are protected from nuisance ordinances. Their properties also receive a special review prior to condemnation. Additionally, all state funded projects with impacts on these areas are subject to review. Lands must be within an ASA to be eligible to participate in the state and county funded Agriculture Easement Purchase Program. There are no land use restrictions in the ASA and landowner participation is voluntary.

Section 907 of Act 43 requires the municipality proposing to create an ASA to solicit comments from its own Agricultural Advisory Committee and Planning Commission, and the County Planning Commission. Section 909 of Act 43 requires the municipality to review the area within an ASA every seven years after the date of its creation. After these reviews and a public hearing, the local officials may take action.

Discussion

Our review is based on requirements outlined in the Act. The review follows standard criteria that require the examination of soils, local planning and ordinances, and the viability of agriculture.

Honey Brook Township created its ASA in 1988. According to available records, the CCPC previously reviewed the ASA in 2016. In August 2023, the CCPC received the Township's list of parcels proposed for inclusion within the ASA. The Planning Commission determined that there are 225 parcels proposed for inclusion in the ASA. This is a net increase of 7 parcels relative to the previous CCPC review. The vast majority of the parcels appears to be viable farmland by state definition, and so would be appropriate for inclusion in the ASA. The total acreage for the Township ASA as submitted is over 7,955.9 acres.

The 2023 ASA listing submitted by the Township includes eight parcels located within areas planned for development according to the Township's and Borough's future land use maps and zoning. All eight of these parcels are within, or in close proximity to Honey Brook Borough. The single parcel that is located within Honey Brook Borough forms part of an agricultural field of an adjoining 23.8 acre farm parcel that is also in the Township's ASA program.

Upon review, the Township's revised ASA meets the requirements for Act 43 inclusion.

Action Requested

Staff requests ratification of the attached letter indicating support of the Township's revised ASA after considering the comments contained in the letter.

Attachment



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

September 28, 2023

John McHugh, Chairman
Honey Brook Township
Board of Supervisors
500 Suplee Road P.O. Box 1281
Honey Brook, PA 19344

Re: County Planning Commission 7-Year Review of Township Agricultural Security Area

Dear Mr. McHugh:

As requested in your August 14, 2023, correspondence prepared by Beth M. Kohl Esq. Township Solicitor, we have reviewed your Township's submission updating its Agricultural Security Area (ASA). The Planning Commission commends the Board of Supervisors for taking this action.

We have reviewed the ASA pursuant to the requirements of the Pennsylvania Agricultural Security Law (Act 43). The evaluation criteria used in this review follow those outlined in Section 907 of Act 43, as amended, and the review is based on the information submitted in your letter and information found in County Assessment Office records. Additional comments and recommendations are also provided.

Soils

Act 43 requires that 50 percent of the total land area within an ASA contain soils with NRCS Capability Classes I, II, III, or IV. From a review of the soils mapping, it appears that the combined parcels proposed for inclusion in the updated ASA have met this requirement.

Local Planning

Act 43 requires that lands proposed for inclusion in an ASA be compatible with local government plans. As currently zoned, of the 225 proposed parcels within the ASA, all but eleven of the proposed parcels are located entirely or primarily in zones that permit agriculture, as noted on the attached listing.

Based on the current municipal comprehensive plan, eight of the proposed parcels within the ASA are located partially or entirely within areas designated in the future land use plan as being inconsistent with agriculture.

All but five of the parcels within the ASA are completely consistent with *Landscapes3*, the Chester County Comprehensive Plan. These five parcels are partially or entirely within a Suburban Landscape, and so could also be suitable for some forms of agriculture.

Agricultural Lands

In order to be included within an ASA, parcels must be viable agricultural land. Under Act 43, the two factors that determine the viability of farming are parcel size and land use. Parcels must be a minimum of 10 acres in size or have an anticipated yearly gross income of at least \$2,000 from agricultural products. Parcels must also have the ability to be cultivated. As a result, the primary land use on a parcel should be farming or vacant. Most of the parcels within the ASA appear to be viable agricultural land.

There are 52 parcels with less than ten acres, but they are generally in close proximity to larger agricultural or open space parcels that appear to be viable farmland.

Comments

The enclosed table presents the parcels proposed for inclusion in the Township's updated ASA, information about the parcel, and the Planning Commission's comments regarding the parcels. We request that the Township review this table and revise its own ownership information, where appropriate.

We appreciate the Township providing the owners, acreage, and parcel ID numbers for each ASA property. On the basis of the information provided by your office, and the County Real Estate System Records, the Township's ASA currently includes 225 parcels totaling 7,955.9 acres. Our records indicate that a significant amount of subdivision activity and change of ownership has occurred since the last seven-year review, but the number of parcels included in the ASA program has increased by 7 parcels and the acreage of the parcels in the program has increased by 285.1 acres.

The Township should consult with its Solicitor and follow the procedures outlined in Section 908 of Act 43, as amended, for updating its ASA. We request that upon formal adoption and filing with the County Recorder of Deeds, a final copy of your updated ASA be sent to both the County Planning Commission and the County Agricultural Land Preservation Board.

Recommendation

We have found that the proposed Agricultural Security Area for Honey Brook Township is consistent with the requirements of Act 43. We commend the Township for its efforts to foster agriculture through the use of the Agricultural Security Area Program. Following review and consideration of the comments contained in this letter, we recommend adoption of a revised Agricultural Security Area.

Thank you for helping to preserve Chester County's farmland.

Sincerely,



Brian N. O'Leary, AICP
Executive Director

cc: Gary McEwen, Honey Brook Township Planning Commission
Beth M. Kohl, Esq., Honey Brook Township Solicitor
Janis Rambo, Honey Brook Borough Secretary
Anne Lane, Chester County Agricultural Development Council
Judith Thomas, Chester County Agricultural Land Preservation Board
Jake Michael, Chester County Planning Commission

ASA Additions

A decorative graphic at the bottom of the slide consisting of two overlapping, wavy bands of blue. The top band is a lighter shade of blue, and the bottom band is a darker shade. The waves are smooth and flow from left to right across the width of the slide.



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

REVIEW OF A PROPOSED ADDITION TO AN AGRICULTURAL SECURITY AREA (ASA)

TO:

John McHugh, Chairman
Honey Brook Township
Board of Supervisors
500 Suplee Road P.O. Box 1281
Honey Brook, PA 19344

Date:

September 27, 2023

Parcel:

22-4-93

Acreage*:

12.8

Owner(s)*:

Jordan Hammell

*According to County Tax Assessment Records

Review Timetable

On, the Chester County Planning Commission received a request from your municipality to review the above listed parcel for addition to your municipality's existing ASA. This proposal was submitted by , representing your municipality. Following Act 43, the CCPC has 45 days to review this submission, which means that our review must be completed by .

Soils

1. Will the existing ASA continue to contain 50 percent soils in NRCS Capability Classes 1 through 4 if this parcel is added to the ASA? Yes No

Comments:

Local Planning

1. Does the municipal zoning for the parcel allow agriculture? Yes No

Comments: **The parcel is located in the Agricultural zoning district.**

2. Does the proposed agricultural use of the parcel comply with the future land use of the parcel, as mapped in the municipal comprehensive plan? Yes No

Comments: **The parcel is designated Rural/Agriculture on the Future Land Use Plan map in the Township/Borough Comprehensive Plan.**

3. Does the proposed agricultural use of the parcel comply with *Landscapes3*, the Chester County Comprehensive Plan? Yes No

Comments: **The parcel is located in the Agricultural Landscape.**

Agricultural Lands

1. Is the parcel enrolled in a farmland protection program? Act 515 Act 319 None

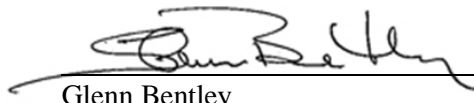
2. What is the Chester County Real Estate System land use code?

3. Is the parcel "viable farmland" as defined by Act 43? Yes No

Comments:

The CCPC finds that the proposed addition of this parcel consistent with the criteria of Act 43. The above comments are provided to assist in your decision toward adding this parcel to your ASA. If you have any questions, please call the CCPC at 610-344-6285.

Thank you for helping to preserve Chester County's farmlands.


Glenn Bentley
Senior Review Planner

GPB/saw

cc: Gary McEwen, Township P.C. Chair
Beth Kohl, Esq., Township Solicitor
Jake Michael, CCPC
Geoff Shellington, Chester County Open Space Preservation Department



THE COUNTY OF CHESTER



COMMISSIONERS
Marian D. Moskowitz
Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

REVIEW OF A PROPOSED ADDITION TO AN AGRICULTURAL SECURITY AREA (ASA)

TO:

John McHugh, Chairman
Honey Brook Township
Board of Supervisors
500 Suplee Road, P.O. Box 1281
Honey Brook, PA 19344

Date:

September 27, 2023

Parcel:

22-5-7.1

Acreage*:

2.0

Owner(s)*:

Jordan Hammell

*According to County Tax Assessment Records

Review Timetable

On, the Chester County Planning Commission received a request from your municipality to review the above listed parcel for addition to your municipality's existing ASA. This proposal was submitted by , representing your municipality. Following Act 43, the CCPC has 45 days to review this submission, which means that our review must be completed by .

Soils

1. Will the existing ASA continue to contain 50 percent soils in NRCS Capability Classes 1 through 4 if this parcel is added to the ASA? Yes No

Comments:

Local Planning

1. Does the municipal zoning for the parcel allow agriculture? Yes No

Comments: **The parcel is located in the Agricultural zoning district.**

2. Does the proposed agricultural use of the parcel comply with the future land use of the parcel, as mapped in the municipal comprehensive plan? Yes No

Comments: **The parcel is designated Rural/Agriculture on the Future Land Use Plan map in the Township/Borough Comprehensive Plan.**

3. Does the proposed agricultural use of the parcel comply with *Landscape3*, the Chester County Comprehensive Plan? Yes No

Comments: **The parcel is located in the Agricultural Landscape.**

Agricultural Lands

1. Is the parcel enrolled in a farmland protection program? Act 515 Act 319 None

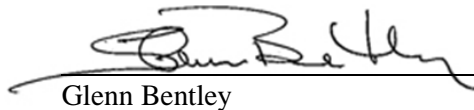
2. What is the Chester County Real Estate System land use code?

3. Is the parcel "viable farmland" as defined by Act 43? Yes No

Comments:

The CCPC finds that the proposed addition of this parcel consistent with the criteria of Act 43. The above comments are provided to assist in your decision toward adding this parcel to your ASA. If you have any questions, please call the CCPC at 610-344-6285.

Thank you for helping to preserve Chester County's farmlands.


Glenn Bentley
Senior Review Planner

GPB/saw

cc: Gary McEwen, Township P.C. Chair
Beth Kohl, Esq., Township Solicitor
Jake Michael, CCPC
Geoff Shellington, Chester County Open Space Preservation Department



THE COUNTY OF CHESTER



COMMISSIONERS
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Josh Maxwell
Michelle Kichline

Brian N. O'Leary, AICP
Executive Director

PLANNING COMMISSION
Government Services Center, Suite 270
601 Westtown Road
P. O. Box 2747
West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

REVIEW OF A PROPOSED ADDITION TO AN AGRICULTURAL SECURITY AREA (ASA)

TO:

John McHugh, Chairman
Honey Brook Township
Board of Supervisors
500 Suplee Road, P.O. Box 1281
Honey Brook, PA 19344

Date:

September 27, 2023

Parcel:

22-10-59

Acreage*:

10.0

Owner(s)*:

Gideon L. Stoltzfus & Lavina B.
Stoltzfus

*According to County Tax Assessment Records

Review Timetable

On, the Chester County Planning Commission received a request from your municipality to review the above listed parcel for addition to your municipality's existing ASA. This proposal was submitted by , representing your municipality. Following Act 43, the CCPC has 45 days to review this submission, which means that our review must be completed by .

Soils

1. Will the existing ASA continue to contain 50 percent soils in NRCS Capability Classes 1 through 4 if this parcel is added to the ASA? Yes No

Comments:

Local Planning


1. Does the municipal zoning for the parcel allow agriculture? Yes No
Comments: **The parcel is located within the Resource Conservation zoning district and Agriculture is a by right use in this district.**
2. Does the proposed agricultural use of the parcel comply with the future land use of the parcel, as mapped in the municipal comprehensive plan? Yes No
Comments: **The parcel is designated Rural Conservation on the Future Land Use Plan map in the Township/Borough Comprehensive Plan.**
3. Does the proposed agricultural use of the parcel comply with *Landscapes3*, the Chester County Comprehensive Plan? Yes No
Comments: **The parcel is located within the Rural Landscape.**

Agricultural Lands

1. Is the parcel enrolled in a farmland protection program? Act 515 Act 319 None
2. What is the Chester County Real Estate System land use code?
3. Is the parcel "viable farmland" as defined by Act 43? Yes No
Comments:

The CCPC finds that the proposed addition of this parcel consistent with the criteria of Act 43. The above comments are provided to assist in your decision toward adding this parcel to your ASA. If you have any questions, please call the CCPC at 610-344-6285.

Thank you for helping to preserve Chester County's farmlands.


Glenn Bentley
Senior Review Planner

GPB/saw

cc: Gary McEwen, Township P.C. Chair
Beth Kohl, Esq., Township Solicitor
Jake Michael, CCPC
Geoff Shellington, Chester County Open Space Preservation Department



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(610) 344-6285 Fax (610) 344-6515

REVIEW OF A PROPOSED ADDITION TO AN AGRICULTURAL SECURITY AREA (ASA)

TO:

Allen R. Martin, Chairman
West Caln Township
Board of Supervisors
721 W. Kings Highway, P.O. Box 175
Wagontown, PA 19376-0175

Date:

September 11, 2023

Parcel:

28-6-72.1

Acreage*:

0.75

Owner(s)*:

Allen W. Touchton

*According to County Tax Assessment Records

Review Timetable

On, the Chester County Planning Commission received a request from your municipality to review the above listed parcel for addition to your municipality's existing ASA. This proposal was submitted by , representing your municipality. Following Act 43, the CCPC has 45 days to review this submission, which means that our review must be completed by .

Soils

1. Will the existing ASA continue to contain 50 percent soils in NRCS Capability Classes 1 through 4 if this parcel is added to the ASA? Yes No

Comments:

Local Planning

1. Does the municipal zoning for the parcel allow agriculture? Yes No

Comments: **Agriculture is not included in the listed permitted uses in the Rural Center zoning district. This parcel provides public road access to the adjoining 12.7 acre parcel.**

2. Does the proposed agricultural use of the parcel comply with the future land use of the parcel, as mapped in the municipal comprehensive plan? Yes No

Comments: **This parcel is designated Moderate Density Residential on the Future Development Plan in the Township Comprehensive Plan, but it is directly adjacent to the Crane Tract, which is an extensive area of Protected/Preserved land.**

3. Does the proposed agricultural use of the parcel comply with *Landscapes3*, the Chester County Comprehensive Plan? Yes No

Comments: **The parcel is located in the Rural Landscape.**

Agricultural Lands

1. Is the parcel enrolled in a farmland protection program? Act 515 Act 319 None

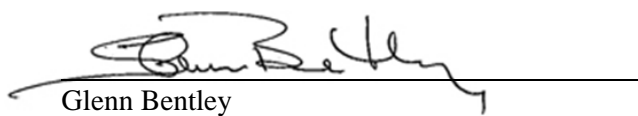
2. What is the Chester County Real Estate System land use code?

3. Is the parcel "viable farmland" as defined by Act 43? Yes No

Comments: **This parcel could be viable farmland if considered as part of the adjoining 12.7 acre parcel.**

The CCPC finds that the proposed addition of this parcel consistent with the criteria of Act 43. The above comments are provided to assist in your decision toward adding this parcel to your ASA. If you have any questions, please call the CCPC at 610-344-6285.

Thank you for helping to preserve Chester County's farmlands.


Glenn Bentley
Senior Review Planner

GPB/ncs
cc: Dean Meyer, Township P.C. Chair
Jake Michael, CCPC
Geoff Shellington, Chester County Open Space Preservation Department



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REVIEW OF A PROPOSED ADDITION TO AN AGRICULTURAL SECURITY AREA (ASA)

TO:

Allen R. Martin, Chairman
West Caln Township
Board of Supervisors
721 W. Kings Highway, P.O. Box 175
Wagontown, PA 19376-0175

Date:

September 13, 2023

Parcel:

28-5-58.5

Acreage*:

103.30

Owner(s)*:

Steven J. & Katie S. King

*According to County Tax Assessment Records

Review Timetable

On, the Chester County Planning Commission received a request from your municipality to review the above listed parcel for addition to your municipality's existing ASA. This proposal was submitted by , representing your municipality. Following Act 43, the CCPC has 45 days to review this submission, which means that our review must be completed by .

Soils

1. Will the existing ASA continue to contain 50 percent soils in NRCS Capability Classes 1 through 4 if this parcel is added to the ASA? Yes No

Comments:

Local Planning

1. Does the municipal zoning for the parcel allow agriculture? Yes No
Comments: **The parcel is located in the AP-Agricultural Preservation zoning district.**

2. Does the proposed agricultural use of the parcel comply with the future land use of the parcel, as mapped in the municipal comprehensive plan? Yes No
Comments: **The parcel is designated Agricultural Preservation on the Future Development Plan map in the Township’s 2020 Comprehensive Plan.**

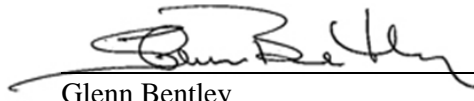
3. Does the proposed agricultural use of the parcel comply with *Landscapes3*, the Chester County Comprehensive Plan? Yes No
Comments: **The parcel is primarily located within the Agricultural Landscape.**

Agricultural Lands

1. Is the parcel enrolled in a farmland protection program? Act 515 Act 319 None
2. What is the Chester County Real Estate System land use code?
3. Is the parcel “viable farmland” as defined by Act 43? Yes No
Comments:

The CCPC finds that the proposed addition of this parcel consistent with the criteria of Act 43. The above comments are provided to assist in your decision toward adding this parcel to your ASA. If you have any questions, please call the CCPC at 610-344-6285.

Thank you for helping to preserve Chester County’s farmlands.


Glenn Bentley
Senior Review Planner

GPB/ncs

cc: Dean Meyer, Township P.C. Chair
Jake Michael, CCPC
Geoff Shellington, Chester County Open Space Preservation Department



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REVIEW OF A PROPOSED ADDITION TO AN AGRICULTURAL SECURITY AREA (ASA)

TO:

Allen R. Martin, Chairman
West Caln Township
Board of Supervisors
721 W. Kings Highway, P.O. Box 175
Wagontown, PA 19376-0175

Date:

September 11, 2023

Parcel:

28-6-72

Acreage*:

12.7

Owner(s)*:

Allen W. & Margaret P.
Touchton

*According to County Tax Assessment Records

Review Timetable

On, the Chester County Planning Commission received a request from your municipality to review the above listed parcel for addition to your municipality's existing ASA. This proposal was submitted by , representing your municipality. Following Act 43, the CCPC has 45 days to review this submission, which means that our review must be completed by .

Soils

- Will the existing ASA continue to contain 50 percent soils in NRCS Capability Classes 1 through 4 if this parcel is added to the ASA? Yes No

Comments:

Local Planning

1. Does the municipal zoning for the parcel allow agriculture? Yes No

Comments: **The parcel is located in the SRR-Site Responsive Residential and RC-Rural Center zoning districts. Agriculture is permitted by right in the SRR zoning district.**

2. Does the proposed agricultural use of the parcel comply with the future land use of the parcel, as mapped in the municipal comprehensive plan? Yes No

Comments: **The parcel is designated Low and Moderate Density Residential on the Future Development Plan in the Township’s 2020 Comprehensive Plan map. The parcel is directly adjacent to the Crane Tract, which is an extensive area of Protected/Preserved land.**

3. Does the proposed agricultural use of the parcel comply with *Landscapes3*, the Chester County Comprehensive Plan? Yes No

Comments: **The parcel is located in the Rural Landscape.**

Agricultural Lands

1. Is the parcel enrolled in a farmland protection program? Act 515 Act 319 None

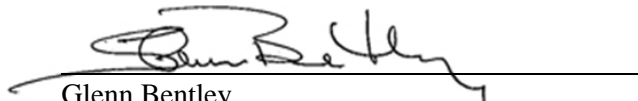
2. What is the Chester County Real Estate System land use code?

3. Is the parcel “viable farmland” as defined by Act 43? Yes No

Comments:

The CCPC finds that the proposed addition of this parcel consistent with the criteria of Act 43. The above comments are provided to assist in your decision toward adding this parcel to your ASA. If you have any questions, please call the CCPC at 610-344-6285.

Thank you for helping to preserve Chester County’s farmlands.


Glenn Bentley
Senior Review Planner

GPB/ncs

cc: Dean Meyer, Township P.C. Chair
Jake Michael, CCPC
Geoff Shellington, Chester County Open Space Preservation Department

Community Planning Month Proclamation

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Proclamation

- WHEREAS:** Economic, environmental, and demographic change is constant and affects all municipalities in Chester County; and
- WHEREAS:** Effective planning helps municipalities manage the impacts of this change and prepare for the future; and
- WHEREAS:** Community planning provides an opportunity for all residents to be meaningfully involved in making choices that determine the future of their community; and
- WHEREAS:** Chester County has adopted a comprehensive plan, *Landscapes3*, renewing a vision and strategy for balancing growth and preservation; and
- WHEREAS:** For the last five years, *Landscapes3* has successfully provided growth and preservation guidance to the county's municipalities while effectively maintaining a steady foundation for planning during changing and disruptive times; and
- WHEREAS:** The celebration of National Community Planning Month provides the opportunity to publicly recognize the dedication of the members of planning commissions and other citizen planners who have contributed their time and expertise to the improvement of Chester County.

NOW, THEREFORE, be it resolved that the Chester County Planning Commission Board hereby proclaims October 2023 as

Community Planning Month

recognizing the many valuable contributions made by professional and volunteer community planners in Chester County.

CHESTER COUNTY PLANNING COMMISSION BOARD

Chairman, Michael Heaberg

Vice-Chairman, Nathan Cline

Discussion and Information Items



Agricultural Development Council Update



Sustainability Division Update



Sustainability Division

Monthly Activities Report – October 2023

Summary:

- Sustainability Summit and tours completed!
 - Summit attracted over 300 attendees, including approximately 60 high school and college students
 - Approx. 100 attendees across 5 separate sustainability tours
 - Average overall satisfaction rating of 4.6/5 for those who took post-attendee survey
- Chester County was awarded \$72,464 through DEP's Alternative Fuels Incentive Grant program to install eight dual-port Level 2 electric vehicle chargers across six county facilities. This funding will likely be used for fleet charging infrastructure.

Environmental and Energy Advisory Board

- The Clean Energy Subcommittee's Solar Adopters Conference is scheduled for Nov. 17 from 8:30-noon at the nth Innovation Center in Coatesville. The event is geared toward the county's biggest energy users and will provide information on available incentives, RFP development, and grid interconnection.
- The full board will meet on 10/25 from 2:30-4 at the GSC.

Multimodal Transportation Planning Division



Multimodal Transportation Planning Division

September 2023

Reeceville/82 Roundabout

On September 12th, PennDOT opened the substantially complete roundabout at Manor Road (PA 82), Reeceville, and Cedar Knoll Roads north of Coatesville in West Brandywine Township. Construction began in March for the \$1.5M project that was funded with 100% Federal competitive Highway Safety Improvement Program (HSIP) dollars. Roundabouts are designed to effectively reduce the severity of accidents occurring at intersections by eliminating the T-bone and head-on type collisions that cause severe injuries. For more information on the project, please visit the District 6-0 webpage found [here](#). The PennDOT Press release for the opening may be found [here](#).



GVFTMA TDM Advocate Awards

On Monday September 25th, Chester County received the Diamond Level Travel Demand Management (TDM) Advocate award at the Greater Valley Forge Transportation Management Association's (GVF) annual TDM Advocates breakfast held at the Crowne Plaza hotel in King of Prussia. The 'Diamond' is the highest level award in the program and recognizes the many partners efforts to reduce single occupancy vehicles and implement TDM strategies within their organizations. Accepting the award for Chester County was Commissioner Michelle Kichline who praised the Planning Commission for our efforts and promoted the county's new Chesco Connect community transit service.

For more information about TDM strategies and other 2023vTDM Advocate award recipients, please see the GVF press release found [here](#).



FY2025 TIP Update / Circuit Funding

MTP staff prepared and submitted forms for four (4) potential projects to be added to the region's Transportation Improvement Program (TIP) as we get underway with the FY 2025 TIP update process. Financial guidance will ultimately determine the amount of funding the region will be responsible to program, meaning that it is not yet known whether or not there will be funding available so that new projects may be added. That guidance has not yet been distributed and is expected later this fall. Regardless, the four projects Chester County submitted as candidates include:

- The Chester Valley Trail extension within the Philadelphia & Thorndale (P&T) rail corridor
- County Bridge #38 carrying Pusey Mill Road over Big Elk Creek in Upper Oxford and Penn Townships
- The Business 30 and North Caln / Olive Road intersection in Caln Township
- The PA 926 and Pocopson Road intersection in Pocopson Township.

Every county was asked to submit at least one major trail project and three other projects in any category. Chester County was planning on re-submitting the P&T project, and the intersection projects proposed address locations where safety and congestion have been identified as significant issues. CB #38 is a bridge in poor condition and scour critical, although one of the few county bridges without any historical significance.

Commissioners from Chester and the other suburban counties (Bucks, Delaware, and Montgomery) along with the Bicycle Coalition of Greater Philadelphia continue to advocate for advancement of the Circuit trail network through TIP funding, specifically to use the recently created Carbon Reduction Program (CRP), a funding stream created by the Infrastructure Investment and Jobs Act (IIJA) to fund these projects. Discussions on how the Circuit trail projects will be funded through CRP and/or other funding streams will continue through this fall as PennDOT works with all of the regional entities statewide to develop their Carbon Reduction Strategy (CRS) that is due to be complete this November.

Design & Technology Division Update





THE COUNTY OF CHESTER



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Brian N. O'Leary, AICP
Executive Director

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West Chester, PA 19380-0990
(610) 344-6285 Fax (610) 344-6515

MEMORANDUM

To: Chester County Planning Commission
From: Paul Fritz, Director, Design & Technology Division
Date: September 30, 2023
Re: Planning Commission Board Meeting Monthly Report

For the month of September, the Design & Technology Division performed reoccurring tasks and supported planning staff with short term and work program related projects.

The 247 planners reviewed and processed plan and ordinance submittals. Also, research on agricultural-related zoning for the county's municipalities continued.

The GIS staff assisted the Community Planning and Sustainability Divisions with mapping requests for work program projects. Staff also addressed data requests from outside entities and initiated work on an interactive map tool for the Agricultural Development Council.

The Graphics team assisted with various products, including materials for the Sustainability Summit, a draft flyer regarding urban tree canopy coverage, and PowerPoint layouts for upcoming events.

Community Planning

A decorative graphic at the bottom of the slide consisting of two overlapping, wavy bands of blue. The top band is a lighter shade of blue, and the bottom band is a darker shade. The waves flow from left to right across the bottom of the page.

Community Planning Municipal Assistance Projects

October 2023

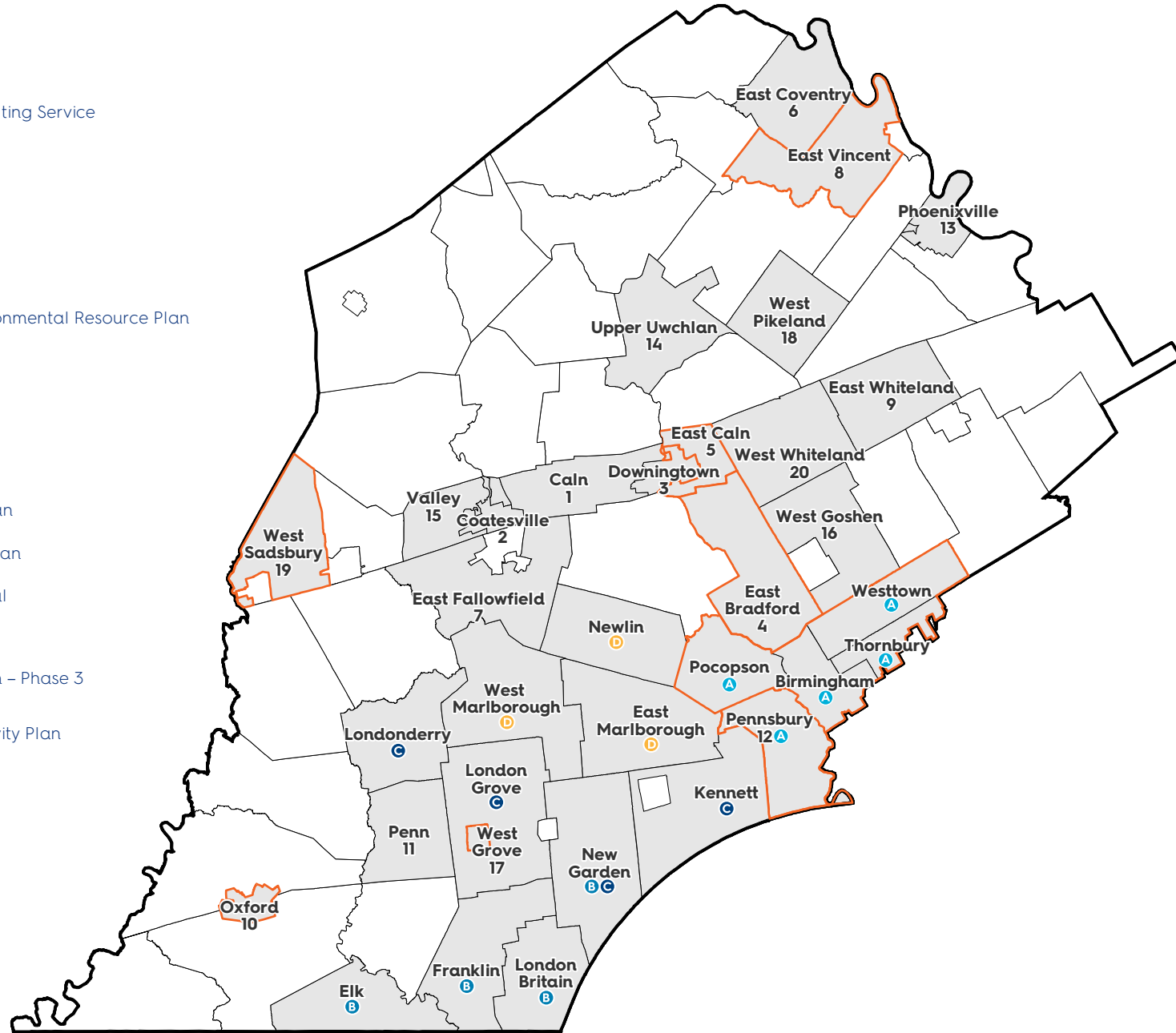
- Municipality with Ongoing VPP Project
- Municipality with Planning Commission Consulting Service

Single-Municipality Projects

1. Caln Zoning Ordinance
2. Coatesville Zoning Ordinance
3. Downingtown Comprehensive Plan
4. East Bradford Zoning Ordinance
5. East Caln Comprehensive Plan
6. East Coventry Land Use Assumptions Report
7. East Fallowfield Open Space, Recreation, & Environmental Resource Plan
8. East Vincent Zoning Ordinance
9. East Whiteland Zoning Ordinance
10. Oxford Comprehensive Plan
11. Penn Comprehensive Plan
12. Pennsbury Historic Resources Zoning Update
13. Phoenixville Zoning Ordinance
14. Upper Uwchlan Active Transportation Plan
15. Valley – W. Lincoln Highway Corridor Master Plan
16. West Goshen Parks, Recreation, & Open Space Plan
17. West Grove Zoning Ordinance
18. West Pikeland Parks, Recreation, & Open Space Plan
19. West Sadsbury Comprehensive Plan
20. West Whiteland Parks Wayfinding Signage Manual

Multi-Municipal Projects

- A Brandywine Battlefield Strategic Landscapes Plan – Phase 3
Birmingham, Pocopson, Pennsbury, Thornbury, Westtown
- B Mason-Dixon Line/
Arc Corner Heritage Interpretation and Connectivity Plan
Elk, Franklin, London Britain, New Garden
- C Route 41 Corridor Improvement Study
Kennett, Londonderry, London Grove, New Garden
- D Unionville Area Regional Comprehensive Plan
East Marlborough, Newlin, West Marlborough



COMMUNITY PLANNING REPORT

October 2023 (Activities as of 9/30/23)

Community Planning activities are reported under the following categories: Municipal Assistance, Historic Preservation, Economic, Housing, and Urban Centers.

MUNICIPAL ASSISTANCE

The following summarizes significant municipal assistance activity with a contractual obligation, including Vision Partnership Program (VPP) cash grant and technical service projects as well as projects primarily funded through outside sources (such as NPS), categorized under Single Municipality or Multi-municipal. Non-contractual staff tasks are noted under Other Projects and recent VPP inquiries are also identified. **New information is italicized.**

SINGLE MUNICIPALITY

1. Caln Township – Zoning Ordinance Update

Percent Completed: - % Contract Term: HOLD Consultant: TBD Monitor: Mark Gallant

The Township is updating their Zoning Ordinance, implementing recommendations from their 2017 comprehensive plan, and creating a cohesive ordinance that encourages appropriate development and removing the complicated and numerous overlay districts. CCPC staff discussed next steps to finalize the ordinance with township representatives.

2. City of Coatesville – Zoning Ordinance Update

Percent Completed: 90 % Contract Term: 6/21 – 11/23 Consultant: Cedarville Engineering Monitor: Kevin Myers

Coatesville is proposing to update their Zoning Ordinance with a focus on streamlining, clarifying, and simplifying the existing ordinance. The contract was endorsed by the County Commissioners at their May sunshine meeting, and the project start date was June 1, 2021, with an anticipated 12-month work program. An interim meeting with the consultant was held on August 29, 2022 to discuss the project status to ensure the project timeline remains on track. The draft amendments were presented to the City planning commission at their Feb. 15th meeting prior to being presented to City council for comment on March 27th. The City has requested a first extension as the initial contract expires May 31, 2023 as the amendments will not be adopted by that time. It should be noted that the consultant has now exceeded the budget in the contract and further work and expenditure is being discussed between the consultant and the City. The proposed amendments were submitted for joint Act 247/VPP review on Friday June 23rd and the first (6 mo.) contract extension was received on June 28th. The VPP/247 review was sent on July 21st. *The current (first) contract extension deadline is November 30th. The City appears to have taken several of the VPP review recommendations seriously and made additional changes and has further minor questions/items for discussion with respect to the draft amendments. However, the budget has been expended and it is not clear how and when additional work will be completed to finalize this project.*

3. Downingtown – Comprehensive Plan

Percent Completed: 15 % Contract Term: 3/23 – 2/25 Consultant: Michael Baker International Monitor: Kevin Myers

The Borough is updating its comprehensive plan that was last updated in 2013 and amended in 2015 and has selected Michael Baker International as the consultant. The kick-off meeting was held on March 20th and initial meeting held April 17th to set up the site visit (in late April) and focus groups (May). The next meeting will be June 19th to discuss results, observations, and being reviewing background information. Focus groups were held on June 15th and public outreach will continue with a public survey and the consultant will attend public events such as “Good Neighbor Day” on July 4th. *A task force meeting was held September 18th after all initial public outreach concluded to review feedback. The borough/consultant received 920 responses from the public survey and the consultant attended several public events to gather feedback. The Community Profile (background information) and public survey results are currently under review.*

4. East Bradford Township – Zoning Ordinance Update

Percent Completed: 65% Contract Term: 8/22 – 7/24 Consultant: Chester County Planning Commission Monitor: Chris Patriarca

The October meeting will include review of signage regulations.

5. East Caln Township – Comprehensive Plan

Percent Completed: 85 % Contract Term: 6/22 – 5/24 Consultant: Chester County Planning Commission Monitor: Chris Patriarca

A public open house to review the draft goals and recommendations was held on September 11. *The Planning Commission is scheduled to have their MPC mandated public meeting in October.*

6. East Coventry Township – Land Use Assumptions Report

Percent Completed: 0% Contract Term: 8/23 – 7/25 Consultant: McMahon Associates, Inc. Monitor: Joe Shanley

Completion of a Land Use Assumptions Report (LUAR) in support of a new Act 209 Study. This new effort will take a fresh look at development projections and existing/future traffic conditions; determine development traffic impact fees; and determine transportation capital improvements consistent with community and region's current goals and vision. *A kickoff meeting is planned for October of 2023.*

7. East Fallowfield Township – Open Space, Recreation, and Environmental Resource Plan Update

Percent Completed: 20% Contract Term: 5/23 – 10/24 Consultant: Simone Collins Monitor: Kate Clark

A second public open house will be held on 9/28 to present objectives and goals for the plan.

8. East Vincent – Zoning Ordinance

Percent Completed: 70% Contract Term: 4/22 – 3/24 Consultant: Chester County Planning Commission Monitor: Kate Clark

The August meeting focused on reviewing supplemental uses and definitions. *The next meeting is scheduled for October 18th.*

9. East Whiteland Township – Zoning Ordinance

Percent Completed: 0% Contract Term: 9/23 – 8/25 Consultant: Bergmann Monitor: Chris Patriarca

East Whiteland Township’s existing zoning ordinance and zoning map will be used as the basis for a full ordinance update. The new ordinance will be generally consistent with the Township’s adopted planning policies, including the Comprehensive Plan (2016), Route 30 Corridor Master Plan (2018), and Parks, Recreation, and Open Space Plan (2022). The updated Zoning Ordinance will be a tool to support

implementation of these previous planning efforts and shall comply with the applicable provisions and content requirements for a Zoning Ordinance, as prescribed by the Pennsylvania Municipalities Planning Code.

10. Oxford Borough – Comprehensive Plan

Percent Completed: 85% Contract Term: 4/21 – 9/23 Consultant: Chester County Planning Commission Lead Planner: Mark Gallant

Oxford Borough has retained the Planning Commission to develop a new comprehensive plan that will also address all required elements of a revitalization plan within the overall Plan. Draft Plan Chapters were presented throughout the Summer and Fall of 2022 and the full draft Comprehensive Plan will be distributed to the Task Force in April. Considering the number of thoughtful edits provided by the Task Force and Borough Planning Commission, we are developing another draft of the Plan (Final Draft) that was distributed in September. *The review and adoption process should continue with adoption anticipated in the Fall of 2023.*

11. Penn Township – Comprehensive Plan Update

Percent Completed: 50% Contract Term: 5/22 – 4/24 Consultant: Brandywine Conservancy Monitor: Mark Gallant

The township is working on a major update to the Penn Township Comprehensive Plan (2012) to better align the township plan with Landscapes3, incorporate recommendations from their Act 209 plan, consider zoning changes from 2019, and account for significant growth and development over the last decade. Several meetings were held in the Summer and Fall focusing on plan background and public outreach (including the development of a community survey) and inventories for natural resources, parks and recreation, transportation, and existing land use. *The consultant forwarded a full draft of the Comprehensive Plan in August and we discussed it at the August Task Force meeting.*

Pennsbury Township – Historic Resources Zoning Update

Percent Completed: 40% Contract Term: 6/23 – 12/23 Consultant: Chester County Planning Commission Lead Planner: Jeannine Speirs

CCPC will work with Pennsbury Township to review their Historic Resources zoning article, historic resources classifications, adaptive reuse, demolition by neglect, and demolition. *The last Task Force meeting occurred and the ordinance draft is now moving into the 247 review stage.*

12. Phoenixville Borough – Zoning Ordinance Update

Percent Completed: 5% Contract Term: 7/23 - 6/25 Consultant: Gilmore & Associates Monitor: Chris Patriarca

The September meeting included an overview of an analysis of the existing zoning ordinance. This analysis will inform proposed updates to the ordinance moving forward.

13. Upper Uwchlan Township – Active Transportation Plan

Percent Completed: 85% Contract Term: 10/22 – 3/24 Consultant: McMahon Associates Monitor: Joe Shanley

Upper Uwchlan Township is creating an Active Transportation Plan to connect existing population centers and regional trail networks with multi-modal facilities. *A draft final plan was presented at the final public meeting in September. Adoption is anticipated by the end of 2023.*

14. Valley Township – W. Lincoln Highway Corridor Master Plan

Percent Completed: 80% Contract Term: 8/21 – 7/23 Consultant: Pennoni and Thomas Comitita Assoc. Monitor: Mark Gallant

Valley Township will be conducting a corridor master plan for West Lincoln Highway, a high priority recommendation from their recently adopted comprehensive plan. The plan would work to create a more cohesive corridor, addressing streetscaping, multi-modal network,

mixed uses, access management, and stormwater management infrastructure from the perspective of both new development and redevelopment. The Task Force met in January 2023 and discussed the draft plan recommendations and mapping that were presented to the public at a meeting on February 27th. This meeting was very well attended and the public reacted very well to the recommendations and the associated mapping. The Township have taken a break from the Master Plan to work with PennDOT on a couple of projects along Route 30 that overlap with the Plan recommendations. I am waiting to hear from them regarding the schedule moving forward

15. West Goshen Township – Parks, Recreation, and Open Space Plan

Percent Completed: 0% Contract Term: TBD Consultant: TBD Monitor: TBD

West Goshen Township is seeking funding to develop a Park, Recreation, and Open Space Plan for the Township's park system. The purpose of this plan to help guide future planning efforts and investment in the Township's park, recreation, and open space facilities. The West Goshen Township Park, Recreation, and Open Space Plan will prioritize annual capital improvements and provide guidance for the management and maintenance of the existing and future parks, recreation facilities, and open spaces in the Township. The township is in the process of selecting a consultant.

16. West Grove Borough – Zoning Amendments

Percent Completed: 20% Contract Term: 4/23 – 3/25 Consultant: Chester County Planning Commission Lead Planner: Kevin Myers

The Chester County Planning Commission will provide professional planning and support staff to assist the Borough in the update of the West Grove Borough Zoning Ordinance. The existing ordinance will be used as a base for this update. This contract was approved by the Chester County Commissioners at their March 29, 2023 meeting. The kick-off meeting was held May 1st, and the second meeting (first work session meeting) was June 5th to discuss amendments to the residential zoning districts. The July 10th meeting was to further discuss residential districts and related regulations (ADU's, Home Occupations, etc.). The August 21st and September 11th meetings completed the discussion of commercial districts. *Next meeting is October 2nd to review Supplemental and General Regulations.*

17. West Pikeland Township – Parks, Recreation, and Open Space Plan

Percent Completed: 5% Contract Term: 06/23 – 05/25 Consultant: Natural Lands Monitor: Chris Patriarca

The consultant team is in the process of completing their existing conditions inventory. *The second Task Force meeting is scheduled for October.*

18. West Sadsbury Township – Comprehensive Plan

Percent Completed: 45% Contract Term: 2/23 – 1/25 Consultant: Chester County Planning Commission Lead Planner: Kate Clark

The connectivity plan chapter was reviewed at the September meeting.

19. West Whiteland Township – Parks Wayfinding Signage Manual

Percent Completed: 50% Contract Term: 4/23 – 8/24 Consultant: Merje Monitor: Jeannine Speirs

The purpose of the West Whiteland Parks System Wayfinding Signage Design Manual (WSM) is to promote placemaking throughout the Township, starting with our 11 parks. The goal is to complete a comprehensive wayfinding signage package to enhance the user experience in the parks. The WSM will create a uniform wayfinding signage brand for the Township to use at each park to provide mapping, educational and informational signage to facilitate users' needs to locate park amenities, along with Township sign maintenance

and overall phasing implementation of the signage program. This contract was approved by the Chester County Commissioners at their March 29, 2023 meeting. *At the Sept meeting, Consultant presented Survey results on design options and refined design options based on those results.*

MULTI-MUNICIPAL

20. Brandywine Battlefield Strategic Landscapes Plans – Phase 3

Percent Completed: 95% Contract Term: 8/19 – 12/22 Consultant: Chester County Planning Commission Lead Planner: Jeannine Speirs

Technical report and interactive map draft has been prepared by consultants and PHMC has completed their review. New interactive map is on web. Consultant is readying Technical report to go on web. Consultants will assist drafting and reviewing planning documents. Planning documents are now being prepared now at the completion of the ABPP grant. *Web ready technical report and map is also being completed.*

21. Kennett Township, Kennett Square Borough, and East Marlborough Township – Longwood Gardens Connector Trail Feasibility Study

Percent Completed: 100% Contract Term: 4/22 – 9/23 Consultant: McMahan Associates Monitor: Kevin Myers

The three municipalities are proposing to perform an analysis and recommend bicycle and/or pedestrian facilities to connect the Kennett area to Longwood Gardens. This project builds off of the Southern Chester County Circuit Trail Feasibility Study (completed by CCPC) to better refine and determine the feasibility of constructing community connections. This project also is timed well with Longwood Gardens undertaking a master plan exercise. Longwood Gardens is also committed to provide match for the project. The kickoff meeting was held on June 13, 2022. The second meeting was held September 19, 2022. The first public meeting was held on October 26th, which was primarily a virtual meeting however an in person watch party was also held in Kennett Square for participants to watch and participate in in the virtual meeting together as well as provide input to the project in person to staff and municipal representatives on site. The third task force meeting was held in January 2023, along with the second public meeting on February 9th. A full draft study is available online for public review, while presentations are being given to municipal officials in April, May, and June prior to the VPP review and acceptance by the municipalities. Comments from the public, municipal officials, and initial comments from CCPC have been incorporated into the study. The final VPP review was sent on August 16th. *All three municipalities accepted the Study and the final invoice has been issued. Kennett Township has been instructed to contact CCPC regarding reimbursement.*

22. London Britain, Franklin, Elk, and New Garden Townships – Mason-Dixon Line/Arc Corner Heritage Interpretation and Connectivity Plan

Percent Completed: 0% Contract Term: 12/22 – 11/24 Consultant: Brandywine Conservancy Monitor: Jeannine Speirs

The four townships are proposing to prepare a plan that will promote thematic and physical heritage interpretation and connectivity between key natural, cultural, historic, and agricultural sites within the Mason-Dixon Planning area. This project specifically builds on Franklin’s Comp Plan policy as well as policy in the other three communities. Contract has been signed by the four municipalities and County Commissioners. *Consultant is organizing project Task Force and plans to hold the first meeting in October.*

23. London Grove, New Garden, Londonderry, and Kennett Townships – Route 41 Corridor Improvement Study

Percent Completed: 10% Contract Term: 2/23 – 7/24 Consultant: McMahan Associates Monitor: Chris Patriarca

The five municipalities are proposing a corridor plan which places community needs and values at its center. The project would begin with a regional visioning process. Then, conceptual design solutions would be identified to address traffic and safety issues to help the communities achieve their vision. A kickoff meeting was held in May. The second Task Force meeting is scheduled for late-September with

a virtual public event scheduled for October.

24. Unionville Area Region – Comprehensive Plan Update

Percent Completed: 50%

Contract Term: 4/22 – 3/24

Consultant: Brandywine Conservancy

Monitor: Kate Clark

The Task Force will meet in October to discuss sustainability options for the region.

OTHER PROJECTS

- **eTool preparation** – full division
- **Oxford Region** – Administration assistance to the regional planning group (ORPC) and associated sub-groups: The ORPC Regional EAC and The ORPC Historic Sub-Committee; Mark Gallant
- **Internal County Coordination** – Transportation: Kevin Myers; Emergency Services: Chris Patriarca; Community Development: Libby Horwitz, Kevin Myers, Chris Patriarca, Jeannine Speirs, and HPC; Housing Authority of Chester County: Libby Horwitz and Chris Patriarca; Facilities: HPC

VPP INQUIRIES

County Consulting Assistance Requests

1. Kennett Township (subdivision and land development ordinance)
2. Oxford Region (regional comprehensive plan)
3. Spring City (comprehensive plan)
4. Kennett Square Borough (comprehensive plan)
5. South Coatesville Borough (general planning assistance)

Cash Grant Inquiries (or VPP channel not established yet)

- West Whiteland Township – Streetscape Plan (September 2021)
- West Nottingham Township – Corridor Study (November 2021)
- Tredyffrin Township – Historic Preservation Plan (February 2022, April 2023)
- Charlestown Township – Traffic Impact Fee (December 2022)
- West Chester Borough – Parks Plan (June 2023)

HISTORIC PRESERVATION

- **Town Tours** – A series of free educational programs on historic towns, neighborhoods, and other items of interest in Chester County.
Staff: Bill Deguffroy and Laura DeMatteo, support from Nancy Shields and Sally Warren, along with Jeannine Speirs and Joe Shanley.
External Partners: CCHPN and individual site organizers/municipalities/municipal historical commissions
Status: The Town Tour kickoff ceremony at the West Chester United Methodist Church took place on June 8th with a total of 76 people in attendance. Due to the poor air quality on the day of the tour, the event was held indoors only and included a presentation by West Chester Historical Commission Chair Tom Walsh. The Westtown School/Westtown Township tour took place on June 15th and had 197 attendees and the Thornbury Farm/Thornbury Township tour took place on June 22nd and had 176 attendees. In July, tours took place in Kennett Square (7/13, 122 attendees); Spackman-Davis Farm in Caln Township (7/20, 307 attendees); and Grove United Methodist Church (7/27, 118 attendees). August tours were: Upper Uwchlan Twp/3 historic farms (185 attendees), East Pikeland Township/Yeager's Farm & Market (122 attendees), and West Pikeland Township/Historic Yellow Springs Tour (202 attendees). Paoli Battlefield tour was cancelled due to weather. A full listing of tours can be found on the Planning Commission website at <https://www.chescoplanning.org/Historic/TownTours/Introduction.cfm>.
- **Training** – Conduct and support training for historical commissions, committees, and HARBs, often in coordination with CCHPN.
Staff: Laura DeMatteo with support from Sally Warren and Jeannine Speirs.
External Partners: CCHPN, PHMC
Status: The Chester County Historic Preservation Network Leadership Luncheon took place on March 18, 2023 and included presentations on PHMC's Certified Local Government program, the role of municipalities in the America250PA Chester County Commission commemorative planning, and the Heritage Tourism Plan. Planning is underway for the CCHPN fall workshop, which is scheduled to take place on Saturday, November 11th at the GSC and will focus on involvement of municipalities in planning for the upcoming semiquincentennial of the nation on July 4, 2026.
- **Mandated and Requested Reviews/National Register Designation Activity** – This includes county-owned properties and other properties with a historic designation (or potential for designation)
Staff: Laura DeMatteo with Jeannine Speirs support on select items (such as DCD Section 106 Committee and reviews of ordinance language)
External Partners: Vary by project
Programs/Projects:
 - DCD Section 106 Committee: Jeannine Speirs serves on this committee. Laura had been part of reviews are ongoing for renovations to apartments for homeless families at 128 E. Chestnut Street, in West Chester Borough, for the CYWA, at 423 Lincoln Highway East, in Coatesville, two projects in Phoenixville: one for a senior housing development in Phoenixville that involves proposed building demolition, and preservation of an existing 50-unit supportive living facility for those with mental or developmental disabilities, and people experiencing homelessness (Schuylkill Township). Preliminary approval letters have been sent to DCD for the Coatesville, West Chester, and Schuylkill Township projects. Final approval for these projects is contingent on receiving design detail and final drawings.

- County-owned Bridges/Facilities: in coordination with CC Facilities Dept (Eric Quinn). Multiple bridges are active: Mill Road #167; Elkview Road/Lincoln #35; Seven Stars Road #190; Old Schuylkill Road #207, Allerton Road #111, North Reeds Road #134; Camp Bonsul Road #26; Harvey's Bridge Road #92; Dutton Mill Road #157; Creek Road #175; Bertolet School Road #196; Warwick Furnace Road #199; Spring City Road #205; Keim Street #220; Hadfield Road #244; Township Road #297; Thomas Road #300; West Cedarville Road #311; Wyebrook Road #143; County Park Road #259; Hillendale Road #320. Cultural Review reports are completed for #35, #92, #199 and #157. Cultural Review reports are underway for #143, #259, #300, #320 and #311. Language for interpretive signage will be developed for #26, #111, and #207. Camp Bonsul Road #26 is under Section 106 Cultural Resources Review by PennDOT. The bridge was in its final design phase for rehabilitation when it was washed away, but for its abutment, by Hurricane Ida. The bridge was then delisted by the National Register. Project scope has now been revised to contract a replacement covered bridge in its place.
- County-owned properties/Facilities and Parks + Preservation: Historic preservation planning and technical assistance on County-owned properties that are or may be historic. Strategies are being considered to rehabilitate the Hatfield House, 119 Hatfield Road, located in Hibernia Park/West Caln Township. Planning Commission staff is coordinating redevelopment strategies with the Chester County Economic Development Council for the Hatfield House. The Chester County Facilities Department has developed a list of potential maintenance projects to stabilize the property and improve its desirability for reuse. The Inter-Departmental Historic Structures Committee, composed of representatives from the Chester County Commissioners' Office, Facilities, CCPC, and Parks + Preservation had a site visit on May 11 at Hibernia Park that included the Hibernia Mansion and annex, cottages #1-5, Hatfield House, Vernon House, and Rice Farmhouse. The Committee had another site visit on July 7th at Wolf's Hollow County Park (including main barn, maintenance shop, farmhouse, Visionary Center, Orchard House, Manor House, and River House) and the Chester County Prison property (including Enos Bernard house and springhouse, units #6a and #6b, including garage, barn, and corncrib). The County was awarded a PHMC Keystone Construction Grant for \$100,000 for the repair or replacement of the six cast iron and brick columns of the Historic Courthouse in West Chester.
- Non-County affiliated Section 106: Darlington Corners at 926/202 (PennDOT interaction widening); Manor Road Improvements, the Roundabout and State Road 41/State Road 841, Roundabout in Chatham Village, London Grove Twp. and an expanded parking lot at the Parkesburg train station; Traditions of America development at National Register-eligible Baldwin Farm in West Brandywine Township; Downingtown Train Station project. FEMA review for Hazard Mitigation Grant Program project in Tredyffrin Township.
- Other activity (planning /technical assistance) with potential regulatory element: Fricks Lock/Schuylkill River/Parker Ford Trailhead Development and resources impacted by work on the Coatesville-Downingtown Bypass in the vicinity of its intersection with PA Rt. 10 in Sadsbury Township.
- Act 247 reviews as requested
- Reviews for historic resource ordinance language including E Bradford and E Vincent as well as Caln
- National Register Nomination support for: Langoma Mansion, Passtown School, Beaver Creek Milling District, Kennett Square Borough update

- **Technical Assistance** – through three primary forms: periodic distribution of information to Historical Commission chairs, answering questions on National Register process (as requested/able), and support for historic preservation efforts (detail below)

Staff: Various Staff

External Partners: Vary by project

Projects with ongoing activity:

- Gardner-Beale House (Coatesville)
- Kemblesville demolition by neglect
- Friends of Barnard Station/Barnard House
- Oxford Region
- Passtown School/Hayti Historical Society
- Zachariah Rice/Hench Houses National Register status
- St. Peter’s UCC Church
- Whittier Clement Atkinson Memorial Community Resource Center
- Springton Manor and Lundale Farm
- Hoopes/Dillon property, London Grove Township

- **Heritage Education/Tourism** – multiple efforts to support education and interpretation throughout the county

Staff: Brian O’Leary lead, support from Laura DeMatteo for the 250th Commission and Harriet Tubman Byway and Jeannine Speirs for Battlefield Heritage Centers and interpretive sites and municipal heritage interpretive plans/planning

External Partners: Vary by project

Projects with ongoing activity:

- America250PA Chester County Commission: Commissioner Kichline serves on the statewide committee. The 250th Commission held a hybrid meeting on July 6 via Zoom and at the Chester County Government Services Center and discussed a planned grant proposal to America250PA/the Pennsylvania Infrastructure Improvements and Projects Committee with a focus on the Philadelphia Campaign and the implementation of the Chester County Heritage Interpretation Network. Beverly Sheppard began her contract in January as Committee Coordinator for the Commission’s six committees to assist as they plan Semiquincentennial celebrations. A contract for professional management of the America250PA Chester County Commission has started. The 250th Commission submitted a proposal for the America250PA/Infrastructure Improvements and Projects Committee and made the required presentation at the August 29th Committee hearing in Lehigh County. Jeannine was asked to join the 250th Heritage Sites Committee and has been working to bring the Heritage Sites Committee up to speed including providing significant information and clarification on the origin, functioning, purposes of the Heritage Interpretive Network and past efforts and future efforts, which is built upon Brandywine Battlefield Task Force planning and 2013 Heritage Interpretive Network concept. Through this Committee, Jeannine had been asked to provide information for the impending Infrastructure grant application including mapping. Brandywine Battlefield Task Force Steering Committee has been coordinating with the 250th Heritage Sites Committee. To further facilitate this, a Brandywine Battlefield Task Force meeting was held August 29th for the express purpose of assisting the Chester County 250th Commission and give a platform to coordinate with the Delaware County 250th in order to provide an opportunity for both

250th to present and build a regional coalition with the Task Force. Jeannine facilitated meeting outreach. There was great turn out with reps from over 20 organizations including 12 municipalities. CCHPN also was in attendance in their liaison role between the 250th and municipalities (see above under training). Meeting generated discussion on ideas for the 250th including activities for the Task Force. There is a desire for additional Task Force/250th collaborative meetings and additional Task Force meetings overall.

- County Heritage Tourism Plan: A consultant team has been retained to create a plan guide Chester County on heritage tourism and assist the local heritage economy via examining public historic sites in a thematic context. The consultant team is finalizing the plan, and met with the Plan Steering Committee and plan subconsultants on July 17th. Greg O’Loughlin and Staci Anderson, Principals at SWELL, the graphic design and branding subconsultants, presented to the 250th Commission at its July 6th meeting. ConsultEcon, the subconsultants that will develop analyses and plans for visitor analysis and marketing, have begun reaching out to heritage preservation stakeholders in the county.
- Iron and Steel Heritage Partnership: The partnership is focusing on coordination with Heritage Tourism planning. The Partnership’s Steering Committee met on July 20 at Warwick County Park and discussed engaging homeschool groups at Partnership heritage sites.
- Underground Railroad: A section of PA-52 in Pocopson, Kennett, and Pennsbury Townships has been recognized as a state byway by PennDOT and will be called the Harriet Tubman Underground Railroad Byway. The Brandywine Valley Scenic Byway Commission (BVSBC) nominated the byway in commemoration of the bicentennial of Harriet Tubman’s birth. The BVSBC has applied for a FHWA grant to enable development of a Corridor Management Plan for the byway.
- Rural History Confederation: Held its most recent meeting on March 28 at the Mennonite Heritage Center in Harleysville, PA. The next meeting is tentatively schedule for summer 2023 and will focus on America250 planning.
- Heritage Centers: Along with Marshallton Heritage Center, Kennett Heritage Center is now open, and Strode’s Mill Village Heritage Center plans to open in 2024. Thornbury Farm Heritage Center had a soft opening for the Thornbury Township Town Tour on June 22. Chadds Ford Heritage Center is working on organizing a soft opening. Discussions are occurring for the Heritage Center in Dilworthtown. A regional Heritage Interpretive and Connectivity Plan is funded under VPP (See Above) for the Mason-Dixon/Delaware Arc Corner area, which will identify possible places for Heritage Centers and Interpretive Sites along with connections between them and other amenities. The regional National Historic Landmark area Heritage Interpretive and Connectivity Plan had been funded under VPP that identified heritage centers in the eastern Brandywine Battlefield and technical assistance is requested for helping facilitate those Heritage Centers. There is discussion of an Underground Railroad Heritage Center at Barnard House and a African American history Heritage Center effort at Passtown School as well as an Interpretive Site at Atkinson Hospital. Springton Manor and Lundale Farm are also interested in being possible Agricultural Interpretive Sites as part of the Heritage Interpretive Network. Oxford Region is interested in an Agricultural Heritage Center or Interpretive Site at Glen Roy Preserve in West Nottingham Township and a regional Agricultural Heritage Center or Gateway at Oxford Area Historical Association in Oxford Borough.

- **Historic Resource Mapping** – two primary mapping efforts for both National Register and locally designated resources, the Historic Atlas Project and the National Register Interactive Map
Staff: Laura DeMatteo support from Colin Murtoff

External Partners: PHMC, vary by project

Projects with ongoing activity: Atlas projects underway: West Chester, Westtown, Parkesburg, New Garden, West Bradford- (VPP), Kennett, and Upper Uwchlan. The Charlestown and East Nantmeal atlas projects were completed in 2022. In order for CCPC to share data, Jeannine is reviewing the PHMC data agreement and data needs with Colin, and is working with PHMC on historic resources data access going forward.

- **Adaptive Reuse Design Guide** – development of a guide specific to adaptive reuse
Staff: Mark Gallant led with support from Jeannine Speirs, Joe Shanley, Jake Michael, and Laura DeMatteo
External Partners: Advisory Committee for the project
Status: Interviews are being conducted to inform the project, and successful examples of adaptive reuse collected, researched, and photographed. The Guide will be made available on the Chester County Planning Commission’s website and will be a “living” document to be updated to highlight best practice projects as they are completed.
- **Brandywine Battlefield** – efforts are coordinated through Jeannine Speirs’ roles as Brandywine Battlefield Task Force Administrator and Project Manager for the NPS/ABPP funded grant project (currently in Phase 3).
Staff: Jeannine Speirs lead with support from Joe Shanley, Community Planner, Graphics, and intern
External Partners: Archives, military historians, and Brandywine Battlefield Task Force including Brandywine Battlefield Park & Park Associates, Delaware County, Brandywine Conservancy, municipalities, and others
Current Activity: See descriptions of the Phase 3 project The battlefield heritage interpretive signage project is nearing completion with the all but one of the 15 signs installed. Several sign dedication events have occurred and have received press coverage. Kennett Township will likely hold a sign dedication this Fall. There are opportunities being worked on to coordinate on heritage interpretation for education and outreach, e.g. undertaking a driving tour visitor experience (prior efforts via another organization was halted for staffing reasons) to mesh with and tie together the County Heritage Tourism Plan and 250th with the Battlefield Heritage Interpretive Network concept and Signage Project (that the Sons of the Revolution funded and CCPC helped lead) and Battlefield Heritage Centers and Interpretive Sites (that were identified through Brandywine Battlefield Task Force partner’s battlefield planning work). Jeannine is helping to coordinate regional Heritage Centers discussions with one another through meetings and conversations as well as providing information. Jeannine has been working with CC Heritage Tourism consultants to provide significant information and clarification on the Heritage Interpretive Network concept, as well as efforts that have occurred to date and planned future efforts. Brandywine Battlefield Task Force’s priority projects are: the Battlefield Park as the Brandywine Battlefield Gateway as part of the Battlefield Heritage interpretive Network, identified Heritage Centers (Heritage Center have been identified via Battlefield planning efforts) open and operational as part of the Battlefield Heritage interpretive Network, and undertaking a Battlefield visitor experience including a possible driving tour and may other tours. Jeannine is working on a possible grant opportunity to do the visitor experience/driving tour along with Delaware County Planning and Battlefield Park. Brandywine Battlefield Task Force held an August 29th meeting to coordinate on 250th planning and with Chester County 250th and Delaware County 250th (see above). Brandywine Battlefield Task Force regional partnership is 30yrs old this year and is planning a celebration event October 26.

ECONOMIC

- **CCEDC Coordination** – Regular contact regarding ongoing projects.
- **Reinvestment Opportunities Map** – Finalizing online presentation of reinvestment development tool for municipalities.
- **Non-Residential Construction Report** – 2023 report (2022 data) completed and posted.
- **State of the County Economy Report** – Transitioning 2023 report to online data format. *Completed final draft, completing internal and external review and initiating online formatting.*

HOUSING

- **Housing Choices Committee** – *Meeting scheduled for October 24..*
- **Missing Middle Housing** – Report complete and posted online.
- **Adaptable Housing Guide** – Completing initial data collection and analysis for housing needs study. Guide will include analysis of Census and Assessment data, review of housing trends, projection of housing needs, and potential impact of interventions on issues. *Working on gathering data and information on trends and their associated housing impacts.*
- **Housing eTools** – Updates are complete, although resources and examples will continue to be added as appropriate.
- **Case Studies** – Pickney Hill Commons.
- **Housing Forum** – Fall 2023 forum topic and speakers selected Topic chosen as “How to Talk About Housing.” *Five speakers will present on their efforts from different view points.*
- **Residential Construction Report** – 2023 (2022 data) report posted.
- **Video** – An A+ homes video on affordably-priced housing and families has been created and will be promoted in mid-2023.
- **Starter Home Pilot Project** – Initial meetings held with four municipalities based on interest. CCPC created and sent proposals outlining potential CCPC assistance through the Starter Home Pilot and other initiatives. *Completed outreach for 2023 due to high response rate, but will continue to respond to inquiries for future work. Program shifted to focus on zoning assistance, completed initial zoning reviews for all participating municipalities. Working on graphic sheets to present zoning recommendations to municipalities. Presentations* – Presented to West Whiteland and East Whiteland on housing in July. Presentation with the West Vincent Planning Commission TBD. *Presenting to the Chester County Economic Development Council on September 27th on Starter Home initiative. Presenting at the Pennsylvania American Planning Association conference in October on A+ Homes initiative.*

URBAN CENTERS

- **VPP Support** – Monitoring of cash grants to Kennett (Kennett Connections Study), Coatesville (zoning amendments), and Downingtown (comprehensive plan update), and participating in county consulting technical services work on updates to the Oxford Borough comprehensive plan.
- **Technical assistance/coordination** – Atglen for zoning (to begin March 28th - minor zoning amendments), future park planning, and grant assistance (DCNR, CCCRP, etc.). Atglen Zoning meetings: March 28th (kick-off, home occupations), May 16th (Home Occupations, TNC District), June 25th (TNC, TNG Districts, MF Uses, Outdoor Dining), Aug 28th, Sept. 26th; Avondale consideration of commercial uses in the R-2 District and parking requirements; Parkesburg for implementation coordination and potential grant funding assistance; 70 E Second Avenue Sketch Plan Review (see below); Downingtown (signs, parking, TND) and comprehensive plan update monitoring; Kennett Square for NVF zoning and comprehensive plan update assistance; TMACC (design); Coatesville (coordination between the City, 2nd Century, CDC, and CCPC); West Grove – potential assistance with PA DCNR C2P2 Grant for parks master plan, and zoning updates consistent with the 2022 comprehensive plan update (breweries, mixed use zoning, parking requirements). Engaged DVRPC in conjunction with other CCPC staff regarding the DVRPC ExPo program (Oxford) and sidewalks installation (Avondale). ; South Coatesville – Discussed CPD assistance regarding comprehensive plan update on June 17th and August 11th. Discussion with Parkesburg Borough regarding assistance with sketch plan/land development related to potential housing development on farm in the Borough including affordable housing considerations, density, and design. This included Bill, Chris P., and Libby. CCPC will provide the Borough with alternative conceptual designs for consideration to assist with discussions to develop a better project than what has been proposed. Developer will meet with the Borough on June 29th. Urban Planner will continue to communicate with the Borough and coordinate CCPC assistance. Similar inquiry made by Kennett Square regarding the NVF site and discussion pending. Discussions/emails with South Coatesville regarding VPP application for comprehensive plan. *Continued communication with Parkesburg regarding the 70 East Second Ave (“Christmas Tree Farm”) sketch plan (and potential zoning amendment) development.*
- **Meeting Attendance** – Participation in meetings for economic development through Historic Kennett Square (now Kennett Collaborative), the Western Chester County Chamber of Commerce, 2nd Century Alliance, and the Western Chester County COG
- **Tools** – Supporting the update of multiple online etools. Supporting and advocating for County access to ArcUrban GIS application.
- **Urban Center Webpage** –No recent activity.
- **Urban Center Forum** –The 2022 UCF was held 10/25/2022 at the County Public Safety Campus. Twelve of the sixteen urban centers participated in the 2022 UCF providing updates on their community and participating in discussion. *The 2023 urban centers forum will be held November 2, 2023 with a focus on historic resources and adaptive reuse at the Downingtown STEM Academy. PHMC staff will present along with CCPC staff.*
- **Urban Centers Improvement Inventory** –A draft 2022 UCII was made available in early February 2022. All 2022 UCII coordination is complete and the final 2022 UCII has been posted. 2023 UCII update announcements were sent to each urban center individually on 11/10/2022. The due date for UCII edits and additions was 1/20/2023. The 2023 UCII was posted on March 2, 2023. Note beginning with the 2023 CRP, CRP will be every other year instead of annually, which might then also apply to future UCII updates.
- **Urban Centers Survey** – A SurveyMonkey survey has been completed. Working on outreach to urban centers managers, staff, council,

and planning commission.

- **DCD CRP Coordination** – Provide input and response to inquiries from urban centers regarding CRP applications. 2021 CRP awards were approved by the Commissioners and letters were sent on November 9, 2021. 2022 CRP applications reviewed and comments submitted, and awards made. The 2023 CRP opened in March 2023. Scored 2023 CRP applications, discussed with CPD Division Director, and submitted and discussed scores/applications with DCD. Final determination and awards pending further discussion with DCD, recommendation to Commissioners for consideration, and final award (typically July/August).
- **DVRPC TCDI representative** – Coordinated with representatives for both Chester County awarded projects regarding status and progress. The kick-off meeting for the 2022 DVRPC TCDI was held at 9:30am, on September 27th, 2021. There was discussion amongst the Review Committee about administrative and programmatic changes to the TCDI program. The PA TCDI request for proposals will be on January 3, 2022. CCPC should assist with messaging to municipalities regarding the TCDI program. Note that DVRPC staff will be taking over more aspects of grant administration and there will be no match, which should assist with municipal interest and ability to apply, particularly for municipalities that have fiscal and capacity limitations. DVRPC will provide additional announcements about the upcoming TCDI round on February 1st. A webinar for the upcoming TCDI round was held February 14th at 9:30am on Zoom. Project review and scoring will be completed by the May 27, 2022 submission deadline. TCDI review committee meeting was held May 31st. Note, Oxford Borough was awarded \$100,000 in the 2022 TCDI to update their SLDO and Zoning Ordinance. The initial meeting for the next PA round for TCDI is scheduled for September 19th. *The Multimodal Transportation Division will be taking over this responsibility in the future with coordination with other staff.*
- **Presentations:** Attended the Western Chester County COG 1/26/2022 and presented a CCPC overview on 2/23/2022. Attended the 5/3/2022 Avondale Borough Council meeting along with Brian O’Leary. Attended CCPC Housing presentation to Kennett Square Council on June 8, 2022. Attended Kennett Square Borough Council meeting on May 3, 2023. Leading Coatesville Mobile Workshop for the 2023 APA National Conference on April 3, 2023. Led WCU planning studio on tour of Coatesville back on Feb. 27th and attended final student presentation at WCU on May 8th. Will continue to coordinate WCU on how University/student planning studios can be modified to better coordinate with municipalities to increase the benefits to all parties. In addition, continuing discussion on collaboration with WCU regarding ArcUrban use and/or student internships/work to collaborate on municipal assistance/projects.

Director's Report

Draft 2024 Work Program



Draft

2024

Work Program



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Chapter 1

Using this Work Program

The 2024 Work Program lists proposed projects and events for 2024 and provides administrative information about these projects. This information includes:

Project Staffing: Under each project, the lead division is listed; however, in a number of cases, the project is a multi-division team project. In these cases, other divisions involved in the project are also listed.

Time Frame: The time frame reflects the general timing of the project during the upcoming calendar year while noting if it will be a multiyear project.

Funding: In some cases, specific grants are helping to fund specific projects. These are noted when applicable.

Staff Resources: There are three levels of staff resources – limited, moderate, and significant. Limited usually involves one person or a smaller team for a project that can be completed relatively quickly or easily. Moderate usually involves a larger project managed by one person or a small team. Significant projects involve multiple people for a large project.

Communications: Three levels of communications are identified for each project, and these are focused on the four primary audiences of municipalities, implementation partners, policymakers, and the public.

Communications Level I

A level I project pertains to a single event or entity. It also can be a simple brochure, tool, or study about one topic. This type of project may have a limited audience such as a single municipality.

Communications Level II

A level II project spans over a couple of months to up to two years and includes more than one audience group. It also would include projects that have a couple of public meetings, events, an in-depth study, etc.

Communications Level III

A level III project spans over one to three years and includes multiple audiences. The project would include multiple public meetings, hearings and events. Extensive coordination with the executive director and the Chester County Commissioners is often necessary.

Scoping Meetings: There should usually be three scoping meetings during the process of completing a project, with a focus on the project kickoff, production and communications, and project status. The exact nature of each meeting will depend on the specific project, and the need for scoping meetings for the Work Program projects will be determined by the management committee on a regular basis. Project leads should check with their manager to see if a scoping meeting is needed.

Project leads should prepare an agenda for the scoping meeting that addresses the purpose elements identified below. This agenda should be shared with all meeting participants ahead of time.

Project Kickoff Meeting

Purpose: Identify key planning issues to be addressed, important stakeholders, relationship to other CCPC projects, critical CCPC and intra-county coordination, overall timeline, anticipated events, and major resources needed.

Key Participants:

- Project Lead
- Division Director for Project Lead
- Key Staff Members for Project
- Executive Director
- Assistant Director
- Director of Design and Technology

Time Frame: Before project begins

Duration of Meeting: An hour

Production and Communications Scoping Meeting

Purpose: Discuss a detailed timeline, expected products, design needs, division coordination, communication needs, and meeting needs.

Key Participants:

- Project Lead
- Other Project Participants
- Division Director for Project Lead
- Representative of Design and Technology Division
- Representative of Communications Team

Time Frame: In early stages of project

Duration of Meeting: An hour

Project Status Meeting

Purpose: Determine the status of the project, the timeline, the production of materials, and communications, including communications after the project is completed.

Key Participants:

- Project Lead
- Other Project Participants
- Division Director for Project Lead
- Executive Director (if necessary)
- Assistant Director (if necessary)
- Designer
- Representative of Communications Team

Time Frame: In mid-stage of project or other appropriate time.

Duration of Meeting: An hour, if needed

Chapter 2

2024 Work Program

The 2024 Work Program lists proposed projects and events for 2024 that implement *Landscapes3*. This work program is structured around the six goal areas of *Landscapes3* – Preserve, Protect, Appreciate, Live, Prosper, and Connect – plus work activities that implement the Landscapes vision and map.

These projects and events are larger scale efforts that have a distinct beginning and ending point and require more production and communications support. Major ongoing planning activities, which usually do not involve significant production or communications work, are listed at the end of this Chapter.

The Work Program for 2024 contains a large number of projects and events and is divided into the following topic areas:

- Preserve
- Protect
- Appreciate
- Live
- Prosper
- Connect
- Landscapes Vision and Map
- Ongoing Planning Activities

Preserve Goal

Mini Municipal Open Space Plans

Develop a replicable and flexible scope of work for a “mini-OSRER” (Open space, recreation, and environmental resources) plan update. Recruit two municipalities to participate in a free plan update as a pilot.

Lead Division – Sustainability

Supporting Divisions – Multimodal Transportation Planning

2024 Time Frame – Full year

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes

Open Space Preservation Updated Mapping and Data (POST)

Prepare annual summary of the amount and type of permanently protected open space in Chester County.

Lead Division – Multimodal Transportation Planning

2024 Time Frame – First quarter of year

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed - No

Open Space Summit

Work with the Department of Parks and Preservation to convene an open space summit. Anticipated audience is conservancy staff and board members.

Lead Division –Sustainability

2024 Time Frame – First half of year

Staff Resources – Low

Communications – Level I

Scoping Meetings Needed - Yes

Protect Goal

Protect Event

Convene a Protect event to advocate for protection of natural resources and advancement of the Climate Action Plan.

Lead Division – Sustainability

2024 Timeframe – Second half of year

Staff Resources – Limited

Communications – Level II

Scoping Meeting Needed – Yes

Supporting the Energy Transition in Disadvantaged Communities

Working synergistically with regional planning initiatives, convene stakeholders from Chester County municipalities identified as having environmental justice areas as defined by the [PA DEP](#) and federal government’s [Climate and Economic Justice Screening Tool](#) to identify logistical and financial pathways for streamlining and scaling weatherization/energy efficiency, electrification, and renewable energy deployment for small businesses and low to moderate income families.

Lead Division – Sustainability

2024 Timeframe – Full year

Staff Resources – Low

Communications – Level I

Scoping Meeting Needed – Yes

Sustainable Practices for HOAs

After making connections with HOAs in 2023, this project will build on those connections to support HOAs in advancing sustainable practices. Support could include: convening an event for HOAs to showcase their sustainable practices to one another and/or assisting a number of HOAs to develop Sustainability Action Plans.

Lead Division –Sustainability

2024 Time Frame – First three quarters of year (continuation from 2023)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes

Implementation Support for Tree Planting

Support the advancement of woodland and tree protection and planting by municipalities by: providing sample plant lists that consider species vulnerabilities related to the changing climate; helping to augment volunteer capacity by supporting local Tree Tender training courses and information sessions on starting a Shade Tree Commission; and assessing the need for digitally tracking tree health and maintenance needs and identifying potential solutions.

Lead Division – Sustainability

Supporting Division –Administration

2024 Timeframe – Full year

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed – Yes

Climate Action Plan Implementation for County Government

Work collaboratively with county departments to pursue an implementation project related to the Climate Action Plan.

Lead Division –Sustainability

2024 Time Frame – Full year

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed – No

Appreciate Goal

Town Tours and Village Walks

Continue Town Tour and Village Walks program, with approximately ten events.

Lead Division – Community Planning

2024 Time Frame – First three quarters of year

Staff Resources – Moderate

Communications –Level II

Scoping Meetings Needed – No

Historic Commission Leadership Luncheon

Conduct annual training and technical assistance to municipal historic commissions with training specific to the commission chairs.

Lead Division: Community Planning

2024 Time Frame: First quarter of year

Staff Resources: Limited

Communications: Level I

Scoping Meetings Needed: Yes

Heritage Interpretive Network Support

Help implement the county's Heritage Tourism Plan and support the America 250PA Chester County Commission by facilitating the establishment of gateways, heritage centers, and interpretive sites identified as part of the county's Heritage Interpretive Network.

Lead Division: Community Planning

Supporting Division: Administration

2024 Time Frame: Last three quarters of the year (will continue in 2025)

Staff Resources: Moderate

Communications: Level I

Scoping Meetings Needed: No

Live Goal

Starter Home Initiative

Support implementation of county workforce housing efforts through the Starter Home Initiative, working with the Commissioners' office, the Community Development Department, and CCEDC.

Lead Division – Community Planning

Supporting Division: Administration

2024 Time Frame – Full year (continuation of project from 2022)

Staff Resources – Moderate

Communications –Level I

Scoping Meetings Needed – No

Housing Summit

Convene a housing summit to advocate for A+ Homes, focusing on municipalities and developers.

Lead Division – Community Planning

2024 Time Frame – Second half of year

Staff Resources – Limited

Communications –Level II

Scoping Meetings Needed - Yes

Adaptable Housing Guide

Prepare a planning guide that addresses evolving market forces, changing demographics, buyer and renter preferences, and environmental conditions. The project will include a needs assessment that calculates and analyzes: housing supply, housing gap, demographics, housing tenure, and housing trends.

Lead Division – Community Planning

2024 Time Frame – First half of year (continuation of project from 2022)

Staff Resources – Moderate

Communications – Level I

Scoping Meeting Needed – Yes

Accessible Housing Locations Guide

Prepare a map and planning guide that identifies growth area locations for new housing that has good access to services and amenities. This guide will include municipal approaches and strategies to encourage housing in these areas.

Lead Division – Community Planning

2024 Time Frame – Last half of the year (continuation of project from 2023)

Staff Resources – Limited

Communications –Level I

Scoping Meetings Needed – Yes

Chester County Housing Report

Prepare annual housing report on Chester County housing sales and construction prices, total units built, and types.

Lead Division – Community Planning

2024 Time Frame – First half of year

Staff Resources – Limited

Communications –Level I

Scoping Meetings Needed - No

Land Bank Support

Provide guidance for the establishment of a Chester County land bank.

Lead Division – Community Planning

2024 Time Frame – Full year

Staff Resources – Limited

Communications –Level I

Scoping Meetings Needed - No

Prosper Goal

Urban Centers Forum

Coordinate annual Urban Centers Forum with support from the Department of Community Development.

Lead Division – Community Planning

2024 Time Frame – Second half of year

Staff Resources – Limited

Communications – Level II

Scoping Meetings Needed - Yes

Non-Residential Construction Report

Prepare annual report on non-residential construction in the county.

Lead Division – Community Planning

2024 Time Frame – First quarter of year

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed - No

Farm Guide

Update annual guide to farm products in Chester County, which is targeted at consumers.

Lead Division – Agricultural Development

2024 Time Frame – First half of year

Staff Resources – Moderate

Communications – Level II

Scoping Meetings Needed - No

Municipal Outreach on Agriculture

Follow-up on agricultural economic development study with targeted outreach to municipalities on making their regulations more ag friendly.

Lead Division – Agricultural Development

Supporting Divisions – Design and Technology, Administration

2024 Time Frame – Full year (continuation of project from 2023)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed - No

Agricultural Awards Program

Manage the Farmer of the Year and Distinguished Service awards program.

Lead Division – Agricultural Development

2024 Time Frame – Second and Third quarters of the year.

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed - No

Farm Tales Library Series

Hold quarterly library event about agriculture for K-5th grade students.

Lead Division – Agricultural Development

2024 Time Frame – Full year

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed - No

Farm Suitability Tool for Municipalities

Develop an online tool for municipalities and potential ag businesses that identifies locational characteristics of different types of agriculture and maps different types of ag businesses in the county. This tool could be used to pinpoint the best locations for new or expanded agricultural operations in the county.

Lead Division – Agricultural Development

Supporting Divisions – Design and Technology, Administration

2024 Time Frame – First half of year (continuation of project from 2023)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed - Yes

Advancing Sustainability Reporting within the Agricultural Sector

Assemble a steering committee/focus group of agricultural sector representatives, including from mushroom farms, to identify needs for sustainability reporting and enhancing sustainable practices for increasing product marketability and competitiveness.

Lead Division – Sustainability

Supporting Division – Agricultural Development

2024 Time Frame – First half of year (continuation of project from 2023)

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed – Yes

Connect Goal

Better Bus Stops Pilot Project

Coordinate with local municipalities and TMACC toward development of an improved bus stop in the West Chester Pike corridor, as recommended in previous DVRPC studies and the Chester County Public Transportation Plan.

Lead Division – Multimodal Transportation Planning

2024 Time Frame – Full year

Staff Resources – Moderate

Communications –Level I

Scoping Meetings Needed - Yes

Municipal Connector Trail Project

Work with local municipality(ies) toward implementation of a connector trail as recommended in the Chester County Trails Master Plan.

Lead Division – Multimodal Transportation Planning

2024 Time Frame – Full year

Staff Resources – Moderate

Communications – Level II

Scoping Meetings Needed - Yes

Chester Valley Trail Extension to Downingtown

Manage all aspects of trail development within the Philadelphia & Thorndale (P&T) corridor as outlined in the Chester Valley Trail Extension to Downingtown study. Work to include, but not limited to: coordination with PennDOT for the disposition process; coordination with local municipalities for establishing connecting trails; selection and management of design consultant(s); management of construction, if any; and seeking additional funding through grant opportunities.

Lead Division – Multimodal Transportation Planning

2024 Time Frame – Full year

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – No

Municipal Transportation Improvements Guide/Tool

Create and distribute a guide for municipalities toward the development of successful grant applications for various transportation funding resources.

Lead Division – Multimodal Transportation Planning

2024 Time Frame – First half of year

Staff Resources – Moderate

Communications – Level II

Scoping Meetings Needed – Yes

DVRPC Safety Program

Coordinate with DVRPC and provide public outreach associated with DVRPC's Regional Vision Zero 2050 Action Plan development. This will be year one of a two-year revenue generating project.

Lead Division – Multimodal Transportation Planning

2024 Time Frame – Full year

Funding – contract with DVRPC

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed - No

Transportation Event

Coordinate the convening of a transportation summit.

Lead Division – Multimodal Transportation Planning

2024 Time Frame – Second quarter of year

Staff Resources – Limited

Communications – Level II

Scoping Meeting Needed - Yes

Transportation Analysis Mapping

Create visually dynamic interactive maps that inventory existing crash, traffic volumes, and congestion data for use in identifying congestion bottleneck locations and crash clusters toward recommending potential safety and/or operational improvements.

Lead Division – Multimodal Transportation Planning

2024 Time Frame – Second half of year

Staff Resources – Limited

Communications – Level I

Scoping Meetings Needed - No

Landscapes Vision and Map

Assessment of Progress on Landscapes3 Implementation

Assess the progress on *Landscapes3* implementation after five years, determine need for amendments, produce report on progress, and share results with partners and the public.

Lead Division – Administration

Supporting Division – Multimodal Transportation Planning, Design and Technology

2024 Time Frame – First half of year (continuation of project from 2023)

Staff Resources – Moderate

Communications – Level III

Scoping Meetings Needed - Yes

Future Trends and Landscapes3

Conduct analysis of *Landscapes3* in relation to current and future trends, preparing future trends and *Landscapes3* report and a future trends vision document.

Lead Division – Administration

Supporting Division – Multimodal Transportation Planning, Design and Technology

2024 Time Frame – Full year

Staff Resources – Significant

Communications – Level III

Scoping Meetings Needed - Yes

Landscapes3 Annual Progress Report

Produce annual progress report that tracks the metrics in *Landscapes3* while also highlighting implementation successes during the year.

Lead Division – Multimodal Transportation Planning

Supporting Divisions – Administration and Office and Communications

2024 Time Frame – First half of year

Staff Resources – Limited

Communications – Level III

Scoping Meetings Needed – No

Agricultural Landscapes Design Guide

Complete an Agricultural Landscapes Design Guide, following the format of the other design guides.

Lead Division – Design and Technology

2024 Time Frame – Full year

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed - Yes

Inventory and Assessment of Design Standards in Growth Area Landscapes

Inventory and assess designs standards found in zoning ordinances for municipalities in *Landscapes3* Growth Areas.

Lead Division – Design & Technology

2024 Time Frame – Full year (continuation of project from 2023)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes

Municipal Officials Education Outreach – Phase 2

This would be a general update of the website combined with marketing pieces and robust outreach aimed at municipal officials involved in planning projects. This effort would help these officials understand the planning process and the best ways to acquire more detailed information when needed.

Lead Division – Community Planning

Supporting Division - Administration

2024 Time Frame – Full year (continuation of project from 2023)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes

Kennett Township Subdivision and Land Development Ordinance

Prepare an updated subdivision ordinance for Kennett Township that synchronizes with their new zoning ordinance.

Lead Division – Community Planning

2024 Time Frame – Full year (will continue in 2025)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed - Yes

Oxford Region Comprehensive Plan

Prepare an updated comprehensive plan for the Oxford region, which includes Oxford Borough, Lower Oxford Township, Upper Oxford Township, East Nottingham Township, West Nottingham Township, and Elk Township.

Lead Division – Community Planning

2024 Time Frame – Full year (will continue in 2025)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed - Yes

East Caln Comprehensive Plan

Prepare a new, implementable comprehensive plan for East Caln Township.

Lead Division – Community Planning

2024 Time Frame – First half of year (continuation of project from 2022)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes (completed in 2022)

East Vincent Zoning Ordinance Update

Prepare an updated zoning ordinance for East Vincent Township.

Lead Division – Community Planning

2024 Time Frame – First half of year (continuation of project from 2022)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes (completed in 2022)

East Bradford Zoning Ordinance Update

Prepare an updated zoning ordinance for East Bradford Township.

Lead Division – Community Planning

2024 Time Frame – First three quarters of year (continuation of project from 2022)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes (completed in 2022)

West Grove Zoning Ordinance Update

Prepare an updated zoning ordinance for West Grove Borough.

Lead Division – Community Planning

2024 Time Frame – Full year (continuation of project from 2023 and will continue in 2025)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes (completed in 2023)

West Sadsbury Comprehensive Plan Update

Prepare an updated comprehensive plan for West Sadsbury Township.

Lead Division – Community Planning

2024 Time Frame – Full year (continuation of project from 2023)

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes (completed in 2023)

New Plan or Ordinance Projects in a Township

As staff capacity becomes available, begin Township-focused plan or ordinance projects.

Lead Division – Community Planning

2024 Time Frame – Second half of year

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes

New Plan or Ordinance Project in an Urban Center

As staff capacity becomes available, begin Urban Center-focused plan or ordinance project.

Lead Division – Community Planning

2024 Time Frame – Second half of year

Staff Resources – Moderate

Communications – Level I

Scoping Meetings Needed – Yes

Major Ongoing Planning Activities

The following planning activities are very important elements of the department’s work program and recur constantly throughout the year. These activities typically need limited, but recurring, support from production and communications.

Review and Support Letters for Subdivisions, Land Developments, Ordinances, Plans, Developments, Grant Applications, and Sewage Facilities

Vision Partnership Program Cash Grant Monitoring

Demographic, Economic Development Data, and Pipeline Updates

Coordination with and Outreach to Municipal, Transportation, Conservancy, Natural Resource, Housing, Agricultural, Economic Development, Energy, and Historic Preservation Partners, as well as the General Public

Geographical Information Systems Updates for Transportation, Historic Resources, Demographics, Land Use, and Other Topics

Administration of Planning Commission, Agricultural Development Council, Keep PA Beautiful Chester County, Housing Choices Committee, and Environmental and Energy Advisory Board